

COMPREHENSIVE DEVELOPMENT REVIEW

GRASSWOOD BUSINESS CENTRE

Prepared for:

THE CORMAN PARK - SASKATOON PLANNING DISTRICT COMMISSION

AND

THE RURAL MUNICIPALITY OF CORMAN PARK NO. 344

Prepared By:

Christmas Properties Ltd.

In Association With:

Crosby Hanna & Associates

and

AECOM

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EXECUTIVE SUMMARY

Christmas Properties Ltd. (the Developer) is applying to rezone Parcel M of the NW-33-35-5-W3M from D-Rural Convenience Commercial 2 District (DC2) to a modified D-Arterial Commercial 1 District (DC1) by agreement for the purpose of developing a proposed Business Centre. The proposed development would be known as “The Grasswood Business Centre” and is situated on lands located within the R.M. of Corman Park No. 344 and the Corman Park - Saskatoon Planning District. The proposed development is located approximately 2 miles south of the City of Saskatoon, bounded by Highway #219 to the west and Grasswood Road to the north. The proposed development is located on land that is occupied by an existing yard site including a vacant dwelling and a service garage. The development site is currently designated for Commercial Development on the Future Land Use Map, contained within the Corman Park – Saskatoon Planning District Official Community Plan. The total area covered by the proposed development equals 3.73 ha (9.22 ac).

Under DC2 Zoning, the property could be used for either “Convenience Commercial Services”, “Public Utility” or “Auto Repair Shop”. The minimum site area in DC2 is 1.0 ha (2.47 acres). In theory, the site currently could be subdivided into three 1.2 ha parcels, each housing a convenience store and possibly an auto repair shop. Convenience stores typically occupy 0.12 – 0.20 ha and this use is not feasible given the presence of two convenience stores at the intersection of Highway #11 and Grasswood Road and another at the corner of Ruth Street and Lorne Avenue (in the City of Saskatoon).

It is anticipated that the Business Centre would feature a mixture of uses provided for in a modified DC1 District, with the intent to eliminate certain uses from the zoning district that have a higher potential to conflict with neighbouring residential development in the Grasswood area. Additionally, the modified DC1 District would limit the number of separate sites to a maximum of 6, allow only a single approach from Grasswood Road, require a 5 m. buffer strip around the perimeter of the development, require the storm pond to be located on the eastern side of the development site and require that site and street lighting fixtures be compatible with the standards of the International Dark Sky Association (IDA). The modified list of uses was amended in February, 2015 and a draft rezoning agreement was prepared by Crosby Hanna & Associates in April 2015 with a proposed list of permitted and discretionary uses. This agreement is subject to review and approval by the District Planning Commission and R.M. of Corman Park Council. The modified list of uses outlined in the draft rezoning agreement is as follows:

Permitted Uses:

1. Automotive Repair Shop
2. Animal Health Care Facility
3. Commercial Storage Centre
4. Food Service Use
5. Public Market
6. Public Utility or Municipal Facilities
7. Retail Store

Discretionary Uses:

1. Commercial Recreation
2. Telecommunications Facility

The uses that are proposed to be deleted from the DC1 District (through the rezoning agreement) in order to mitigate conflict with surrounding land uses are as follows:

1. Accommodation Service
2. Amusement and Entertainment Service

3. Auction Facility
4. Automotive Sales / Rentals
5. Community Care Facility
6. Internment Service
7. Recreational Vehicle Sales / Rentals
8. Agricultural Support Service
9. Business Support Service
10. Commercial Complex
11. Equipment Sales / Rentals
12. Local Waste Management and Remediation Industry
13. Warehousing
14. Warehouse Sales
15. Wholesale Trade

If rezoning to DC1 by agreement is approved, the Developer intends to market the development and the response to such marketing will influence the number of sites actually subdivided. A subdivision application, development permits and possibly discretionary use applications would be forthcoming at a later date. The Developer also owns a construction company, so their preferred approach to developing the site would be to subdivide lots, construct buildings, and lease out the buildings to prospective business clients. If this were not feasible, the Developer would consider subdividing lots and selling them to individual business owners.

A previous application for rezoning of this site to DC1 (with no zoning agreement) was recommended for approval by the Corman Park – Saskatoon Planning Commission on May 8, 2013. At that time, it was recognized that the site was designated for Commercial Development on the Future Land Use Map for the District. The proposal to rezone from DC2 to DC1 (with no zoning agreement) ultimately was defeated by R.M. Council in June of 2013. Subsequent to this (in late 2014) and pursuant to mediation discussions between the R.M. and the Developer, it was recommended that a revised proposal be submitted to the Planning Commission and R.M. Council for their consideration.

In terms of potable water, two potential sources have been identified in the immediate surrounding area. Currently, the R.M. of Corman Park has a 150 mm diameter pressurized water main running along the east boundary of the proposed development location known as the Grasswood Water System. The Dundurn Rural Water Utility (DRWU) has a non-pressurized water main running along the north side of Grasswood Road and the west side of Highway #219. AECOM conducted a Round 2 Water System Assessment (WSA) of the existing Grasswood Water System. It was concluded that the Grasswood reservoir has ample storage to provide potable water and fire protection and could accommodate future growth in the area. The DRWU has indicated that they can service the proposed development, however, it would be up to the user to pressurize the lines and store water on-site. Additionally, an ample supply of water must be stored on-site to provide fire protection. If the option to receive water from the DRWU is pursued, the DRWU has indicated they could provide a cost estimate of the installation up to the water meter in each building.

Geotechnical investigations were conducted by AECOM. The investigations were conducted to characterize the subsurface conditions on the development site and to provide recommendations concerning pavement design and utility installation. Subsurface geology was investigated by drilling six (6) test holes in addition to the installation of two (2) standpipe piezometers. Four test holes were advanced to a depth of 3.5 m below the existing ground surface, while the additional two tests were advanced to a depth of 5.0 m below the existing ground surface. Piezometer data (water levels) was measured twice: immediately after drilling and again on January 26, 2012. Groundwater levels were measured between 2.02 m and 2.25 m below existing ground surface. The subsurface soil profile was characterized in descending order as topsoil, clay, sand and clay. Based on the soil encountered and existing groundwater conditions, it was

concluded that the area is considered suitable for the development of parking lots in association with buildings. Frost depth was estimated at 2.5 m below ground surface. It was recommended that all pipes and footings be placed at a depth greater than 2.5 m below surface to protect against frost action. Several recommendations concerning site preparation, excavations and backfill, frost penetration, and pavement structure are also made in the geotechnical investigation.

In terms of wastewater management, it is anticipated that all sanitary sewage produced in the development will be contained on-site in a holding tank sized to contain adequate volume for the site. It is anticipated that the holding tanks will be sized in the detailed design phase of the proposed development. A licensed hauler will be contracted to transport the waste to a licensed facility.

The runoff impacts of the proposed development at Parcel M of the NW 1/4 Section-33-35-5-W3M were reviewed by AECOM. It was observed that the site drains from the northwest corner to the southeast corner. The land is characterized as hummocky and is dotted with small mounds and depressions. The pre-development runoff for the site was calculated at 124 litres per second for a 1:100 year storm event. The proposed drainage system at the development would entail grading the site to provide overland drainage to a wet pond on the east portion of Parcel M. The wet pond would provide storage for a 1:100 year storm event, with a freeboard allowance of an additional 25%. It was determined that the parking lots would be comprised of gravel instead of asphalt, thereby decreasing the impermeable compacted surfacing and, as such, lowering the post-development runoff volume. It was calculated that draining the pond from High Water Level (HWL) to Normal Water Level (NWL) over a 48-hour period will generate a post-development runoff of 13.9 litres per second.

In terms of the water retention pond, the floor elevation was calculated at 503 metres. At NWL, the depth shall be 2.0 metres. The NWL will be at 505.0 metres, which will provide sufficient slope to drain the pond to the southeast corner of the site. The pond will have an operating depth of 1.8 metres from NWL to the HWL and an additional 0.3 metres to the freeboard (FB) level. The pond's length to width ratio was calculated at approximately 3.5:1. Side slopes will vary from 3:1 to 5:1 and the bottom of the pond would be graded with minimum longitudinal and lateral slopes of 100:1. It was indicated that the existing drainage pattern will be maintained, therefore eliminating the need to obtain easements to drain the site. This information was submitted to SWA for review. It was determined that approval would not be required as long as water was not diverted along the west and north ditches, resulting in a downstream impact. The site drainage plan currently situates the water retention pond centrally and adjacent to the buffer strip on the south boundary of the site. The neighbour to the south identified concerns with the pond being located near their property and the developer is willing to situate the pond adjacent to the east boundary of the site. That being said, most drainage plans locate the retention ponds centrally to allow more gradual sloping towards the ponds (e.g. the attached drainage plan). We question the actual benefit of moving the pond from a central location to a location on the periphery, but nonetheless have included this as a condition in the draft rezoning agreement. In any case, the drainage plan will need to meet R.M. standards and be approved by the WSA prior to development.

The proposed Grasswood Business Centre is located on the southeast corner of Highway #219 and Grasswood Road. Highway #219 has recently been upgraded to accommodate increased traffic volumes. Grasswood Road is a single lane rural collector road maintained by the municipality. The roadway has a total of 8.0 m of paved surface. It is anticipated that a new access road will need to be constructed (shown as the “double-cul-de-sac” on the proposed plan). This road will be constructed to the R.M. of Corman Park standard for Internal Commercial Industrial Roads. The proposed development was submitted to the Saskatchewan Ministry of Highways and Infrastructure and it was indicated that an approach to Highway #219 would not be permitted, as it is an access controlled roadway, which requires a minimum intersection to access road spacing of 400 m. As such, a single approach to Grasswood road will be constructed 90 metres set back from the Highway. This approach will meet the Ministry’s locational standards. If deemed necessary, a Traffic Impact Study will be commissioned by the Developer at the time of

subdivision, when the proposed land uses are understood. It would be premature to undertake a traffic study at this time, given that the number of lots and types of businesses in the subdivision are unknown.

The Developer has been working with Saskatoon Fire and Protective Services to ensure that there are no concerns with the proposed development. The R.M. of Corman Park currently funds the Saskatoon Fire Department to provide coverage within the Municipality. The Corman Park Police Service currently works in conjunction with the R.C.M.P. to provide protective services to the area. Correspondence with the Deputy Chief from Saskatoon Fire and Protective Services indicating the type of response required, including a breakdown of equipment and staff. The Deputy Chief also indicated that they do not depend on onsite water supplies.

In terms of solid waste, Loraas Disposal has indicated that they would be willing to remove the waste at the proposed commercial development.

AECOM contacted Saskatchewan Environment in to identify whether an environmental assessment would be required for the development of the proposed business centre. It was indicated that an Environmental Impact Assessment (EIA) would not be required for the project.

In terms of heritage resources, a screening was completed through the Heritage Conservation Branch. The screening indicated that the quarter section is not heritage sensitive, and as such, there are no further concerns with the development.

A public open house was held on May 22, 2012 from 6 p.m. to 8 p.m. at the SCPA Log Cabin. Information presented at the public open house included conceptual site drawings and a detailed explanation of the differences between DC2 (existing zoning) and DC1 (desired zoning at that time). Several neighbours attended the open house and one written response was received from the neighbours immediately to the south of the proposed development site. Concerns included increased traffic, drainage, type of potential commercial development and impact on property values. In terms of response the developer offers the following:

1. **Traffic:** The volume and type of traffic are not known at this time. Based on response to marketing, the developer proposes to subdivide the site and undertake a Traffic Impact Assessment (TIA) if deemed necessary by the R.M. and Community Planning Branch, based on the subdivision application. If deemed necessary, the TIA would examine the suitability of surrounding roads and traffic safety issues.
2. **Drainage:** The developer's drainage plan includes the construction of a storm water retention pond. AECOM has designed this pond to meet the RM's standard of accommodating a 1 in 100 year storm event, plus 25%. The Saskatchewan Water Security Agency (WSA) has reviewed the drainage plan and determined that the development would not require approval under their legislation. If the rezoning agreement was approved and the storm water retention pond was to be moved to the east side of the site, a revised engineered drainage plan would be submitted to the R.M. and WSA for review.
3. **Type of Potential Commercial Development:** Actual development within the subdivision is undetermined at this time. If the site is rezoned from DC2 to DC1 by agreement, the Corman Park - Saskatoon Planning District Zoning Bylaw will provide for a series of permitted and discretionary uses (along with appropriate development standards) that could potentially take place on the development site. The District Planning Commission and R.M. Council ultimately would have final decision making power on any potential discretionary use applications within the development.
4. **Impact on Property Values:** The type of commercial uses within the proposed development will be guided by the Corman Park - Saskatoon Planning District Zoning Bylaw. The developer also proposes to provide landscaping and external buffers for the development for aesthetic purposes.

A second letter was sent to neighbours in June, 2014 to neighbouring properties to the proposed development. Concerns included light pollution, landscaping and the provision of buffers, drainage, fencing, snow clearing and traffic. A summary of Developer responses to these concerns is listed below:

1. **Light:** The developer will use techniques and standards consistent with the current version of the International Dark Sky Association Lighting Code Handbook for outdoor lighting on the sites and in the streets. Further to this, the rezoning agreement requires site and street light fixtures be compatible with the standards of the IDA.
2. **Landscaping and Buffers:** Additional landscaping in the form of buffers along all four sides of the property is proposed. Development permits that come forward if the proposal goes ahead are subject to an additional layer of standards and regulations including landscaping standards.
3. **Drainage:** an engineered drainage plan that meets the RM of Corman Park's drainage standards has been completed. If a revised drainage plan is completed, it will be prepared by a professional engineer and require approval of the R.M. and WSA.
4. **Fencing:** The developer plans to build a fence along the south side of the site.
5. **Snow Clearing:** The developer has indicated that the sale agreements will require snow clearing along the south property line to address drainage issues.
6. **Traffic:** If deemed necessary, the developer is prepared to undertake a Traffic Impact Assessment study in order to address safety concerns, however the location of the approach to the site was referred to the Ministry of highways and it will meet their locational standards.

DEVELOPMENT CONTEXT

The proposed Grasswood Business Centre will be a high-quality commercial development that is envisioned to feature a mixture of retail outlets, storage facilities and service establishments located in the Saskatoon Planning District. For a rural commercial development, it will be in close proximity to services and rural development in the broader Saskatoon - Corman Park region.

Nearby rural development includes the Hamlet of Furdale to the northwest, Riverside Estates to the east, and the City of Saskatoon and the neighbourhood of the Willows to the north. The Developer and the design team are of the opinion that conflict with existing surrounding land uses will be minimal, and as such, is requesting the parcel be re-zoned to a modified DC1 zoning designation by agreement. This modified district contains a reduced number of uses that could potentially be located on the subject site. In February, 2015 a letter containing a modified list was submitted to the R.M. of Corman Park Council, and in April, 2015 a Rezoning Agreement was prepared with the proposed list of permitted and discretionary uses. The proposed modifications are intended to remove the uses that have a higher potential to conflict with neighbouring residential development.

The proposed Development will provide business opportunities for residents in the surrounding area, in addition to the travelling public. This development will also feature landscaping which will complement the aesthetics of the surrounding area.

1 INTRODUCTION

1.1 PURPOSE

The purpose of this document is to provide the Rural Municipality of Corman Park No. 344 and the Saskatoon Planning District with a Comprehensive Development Review (CDR) as required in Section 5.6 of the Corman Park-Saskatoon Planning District Official Community Plan (the OCP).

This Review provides a framework for a proposed commercial development at Parcel M of the NW-33-35-5 W3M (see plan of proposed subdivision attached as Appendix A). The name of the proposed development is “The Grasswood Business Centre” and the Developer of the project is Christmas Properties Ltd. (landowner). The concept plan for the development is attached as Appendix A to this document.

Questions on the proposal or the material contained within this document should be directed to Jim Walters, P.P.S., M.C.I.P. (306-665-3441) or Mike Katsiris (306-222-8333).

1.2 OVERVIEW

It is the intention of the Developer to compliment the region by carefully integrating commercial amenities into the area.

Centrally located at the corner of Grasswood Road and Highway #219, this development is ideally situated in the Corman Park-Saskatoon Planning District and features the following:

- It is envisioned that the proposed Grasswood Business Centre could offer a variety of retail outlets, storage facilities and service establishments available to the surrounding region.
- Development boasts minimal travel distance from several surrounding rural developments as well as the City of Saskatoon.
- Proposed landscaping features will be provided along all sides of the property to buffer the development from the surrounding highway as well as adjacent residential properties. The landscaping features will also provide an aesthetically pleasing landscape for those who travel to the development.

1.3 LAND USE CONTEXT

The proposed development is situated on lands located within the R.M. of Corman Park in the Corman Park - Saskatoon Planning District on Parcel M of the NW-33-35-5 W3M. The site is south of Grasswood Road, east of Highway #219. The surrounding land uses in the project area include country residential development, livestock grazing, and agricultural activities. The land is currently occupied by an acreage that is rented out, in addition to a service garage.

Parcel M of the NW-33-35-5 W3M forms part of the Grasswood South subdivision. Grasswood North is located kitty corner, to the northeast of Grasswood South (W1/2-3 and E1/2-4-36-5 W3M). Present land use of Parcel M of the NW-33-35-5 W3M includes previously cultivated pastureland. Additionally, one existing yard site including a vacant dwelling and service garage is present within the proposed development area located in the east-central part of the parcel. It is the intent of the landowner to rezone the property from D-Rural Convenience Commercial 2 District (DC2) to a modified D-Arterial

Commercial 1 District (DC1) by agreement for the purpose of developing a proposed Business Centre.

The Existing Land Use Context of the Proposed Development is as Follows:

North

- | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> - Grasswood Road: - City of Saskatoon: - Hayland, slough, and bushes: - Organized Hamlet of Furdale: | Adjacent to north boundary
Approx. 1.7 km north of north boundary
North of Grasswood Road
Approx. 1.2 km northeast of northeast corner |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------|

East

- | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> - Residence (Grasswood South): - Swityk Lane (Grasswood South): - Clarence Avenue | Adjacent to east parcel boundary
500 m east of east parcel boundary
1,300 m east of east parcel boundary |
|-------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------|

South

- | | |
|-------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> - Parklands Road (Grasswood South): - Residence (Grasswood South): | 400 m south of south parcel boundary
200 m south of south parcel boundary |
|-------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------|

West

- | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> - Highway #219 - Residence: - Hayland, slough, and bushes - Organized Hamlet of Riverside Estates: | Adjacent to west parcel boundary
West of Highway #219
West of Highway #219
Approx. 1.8 km west/southwest of west boundary |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------|

Nearby Neighbourhoods Include:

In Saskatoon

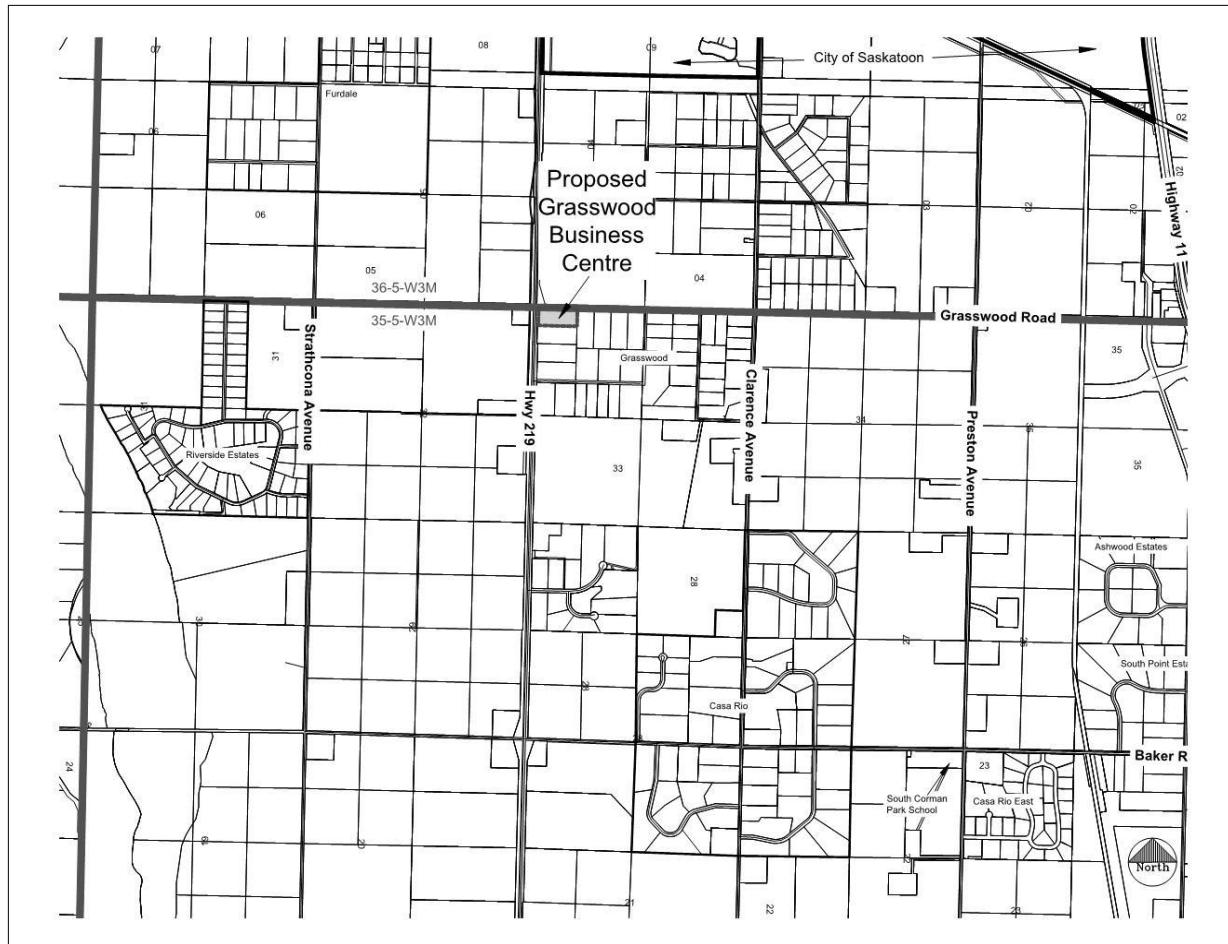
- | | |
|----------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> - The Willows - Stonebridge - Avalon | Approximately 1.7 km north of parcel boundary
Approximately 3.3 km northeast of parcel boundary
Approximately 4.0 km north of parcel boundary |
|----------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------|

According to the AECOM drainage report the surface topography of the parcel is classified as hummocky. Shelter belts and native bushes are currently located on the property and the land is dotted with small mounds and depressions (see Appendix C).

1.4 SURROUNDING LAND USE OPPORTUNITIES AND CONSTRAINTS

The proposed commercial parcel is surrounded by existing residential development. The parcel is considered to be a part of the Grasswood South subdivision. Other residential development in the area includes Grasswood North to the northeast, the Organized Hamlet of Furdale to the northwest, and the Organized Hamlet of Riverside Estates to the west-southwest.

The map below identifies the location of the proposed Grasswood Business Centre, in relation to the existing adjacent land uses in the area.



Context Map denoting location of proposed Grasswood Business Centre.

1.5 POLICY CONTEXT

The proposed Grasswood Business Centre has been designed to meet the requirements of the 2010 Official Community Plan and Zoning Bylaw for the R.M. of Corman Park - Saskatoon Planning District (as amended).

CORMAN PARK - SASKATOON PLANNING DISTRICT OFFICIAL COMMUNITY PLAN

Commercial Sector Policies (Section 7.0)

- 7.1 - Comprehensive Development Reviews:
 - ▶ This document represents the Comprehensive Development Review that is required to rezone land for new commercial development. This CDR addresses all matters of land use integration, potential conflict mitigation, as well as the provision of services to the development, as set out in the Zoning Bylaw.

7.2 - Servicing and Development Policies:

- ▶ 7.2.1 - The proposed commercial development (retail outlets, storage facilities and service establishments) will fit with the surrounding existing and proposed residential and commercial land uses in the area.
- ▶ 7.2.2 - The proposed development will follow the general development standards as prescribed by the Zoning Bylaw for commercial developments.
- ▶ 7.2.3 - The proposed development has been designed to ensure that alteration to drainage, landscape, and other natural conditions occurs in a way that avoids or mitigates on and off site impacts and that respects any long term plan for the extension of urban infrastructure to the area.
- ▶ 7.2.4 - A servicing agreement between the Developer and the R.M. of Corman Park is expected to address the provision of services that directly or indirectly serve the subdivision and may include (but is not limited to) the following:
 - Identify the proposed phasing, including the proposed construction timelines.
 - Identify roadway and approach specifications, including roads that will not be public roadways.
 - Identify pre-site investigation requirements for the installation of a septic system. This may include information pertaining to regular maintenance reports.
 - Identify the proposed form of water distribution and sewage collection and treatment including how it will be administered.
 - Identify off-site servicing fees, payable to the RM
 - Identify the value of the required performance bond or letter of credit.

7.3 - Location and Access Policies:

- ▶ 7.3.1 - The proposed arterial commercial development is located in an area identified as a “Future Commercial Area” on the Future Land Use Map.
- ▶ 7.3.3 - The Developers are requesting that the parcel be rezoned from D-Rural Convenience Commercial 2 District (DC2) to a modified D-Arterial Commercial 1 District (DC1) by agreement for the purpose of developing a proposed Business Centre. The proposed modified DC1 District contains a reduced number of uses that could potentially be located on the site. In February, 2015 a letter to the R.M. of Corman Park Council was submitted with a modified list of uses, and in April 2015 a proposed list of permitted and discretionary uses was re-submitted. The modifications are intended to remove the uses that have a higher potential to conflict with neighbouring residential development (see letter to R.M. of Corman Park describing proposed uses in Appendix K and proposed Rezoning Agreement in Appendix L). It is anticipated that the proposed development will provide a significant benefit to the Saskatoon-Corman Park region, as the surrounding region is largely dominated by agricultural and residential development. Additionally, this CDR demonstrates how the proposed development aligns with policies within the Corman Park-Saskatoon Planning District OCP.
- ▶ 7.3.4 - The proposed commercial development is located at the key intersection of Provincial Highway #219 and Grasswood Road (a municipally maintained roadway).
- ▶ 7.3.5 - The proposed development is located along existing roads, and it is anticipated that

costs to the R.M. of Corman Park would be minimized.

- ▶ 7.3.5 - Surrounding infrastructure including natural gas, water, and power are all located within the immediate vicinity of the proposed development. The Developer has contacted various public utility companies with regard to the placement of shallow utilities to the site including power, natural gas, and telephone. A response from these utility providers has not yet been received, however, it is not anticipated there will be any servicing issues as each of these utilities is present within the immediate surrounding area.
- ▶ 7.3.5 - The soil capability of this parcel is considered low, or Class 6, according to the Canada Land Inventory Soil Class Rating System.
- ▶ 7.3.6 - The proposed development will meet municipal and provincial regulations respecting access to and from provincial highways and other municipal roads.
- ▶ 7.3.7 - The proposed development will be located in such a manner that minimizes road construction and maintenance.
- ▶ 7.3.8 - The proposed development complies with the required separation distances, as provided within Section 4, Table 1 of the Intensive Livestock Operation Policies contained in the Saskatoon Planning District Official Community Plan.

· 7.4 - Arterial Commercial Policies:

- ▶ 7.4.2 - The proposed development will feature commercial activities including the following potential uses: retail outlets, storage facilities and service establishments. The surrounding land uses are largely classified as residential and agricultural. This proposed development is intended to provide surrounding residents and the travelling public with goods and services not otherwise available in the area.

Servicing and Transportation Policies (Section 8)

· 8.1 - General Servicing Policies:

- ▶ 8.1.2 - The proposed development will have legal and year round, all weather physical access to a municipal maintained roadway. Internal roads will be constructed at the expense of the Developer. Services, including gas, power, and telephone will be provided by the Developer.
- ▶ 8.1.3 - As required by the policies in the Official Community Plan, the submission of this CDR is intended to ensure that all potential effects of the development are identified.

· 8.2 - General Transportation Policies:

- ▶ 8.2.3 - The proposed development was submitted to the Saskatchewan Ministry of Highways and Infrastructure and it was indicated that an access road (approach) on Highway #219 would not be permitted, as it is an access controlled roadway, which requires a minimum intersection to access road spacing of 400 m. However, the proposed approach on Grasswood Road meets the Ministry's standards. If deemed necessary, a Traffic Impact Study will be commissioned by the Developer.

Implementation Policies (Section 12)

- 12.1 - General Policies:
 - ▶ 12.1.2 - A servicing agreement between the Developer and the R.M. of Corman Park is expected to address the provision of services that directly or indirectly serve the subdivision and may include (but is not limited to) the following:
 - Identify roadway and approach specifications, including roads that will not be public roadways.
 - Identify pre-site investigation requirements for the installation of a septic system. This may include information pertaining to regular maintenance reports.
 - Identify the proposed form of water distribution and sewage collection and treatment including how it will be administered.
 - Identify off-site servicing fees, payable to the RM
 - Identify the value of the required performance bond or letter of credit.

ZONING BYLAW

The Developer is applying to rezone the Parcel M of the NW-33-35-5 W3M from D-Rural Convenience Commercial 2 District (DC2) to a modified D-Arterial Commercial 1 District (DC1) by agreement for the purpose of developing a proposed Business Centre. Under DC2 Zoning, the property could be used for either “Convenience Commercial Services”, “Public Utility” or “Auto Repair Shop”. The minimum site area in DC2 is 1.0 ha (2.47 acres). In theory, the site currently could be subdivided into three 1.2 ha parcels, each housing a convenience store and possibly an auto repair shop. Convenience stores typically occupy 0.12 – 0.20 ha and this use is not feasible given the presence of two convenience stores at the intersection of Highway #219 and another at the corner of Ruth Street and Lorne Avenue (in the City of Saskatoon).

The proposed modified D-Arterial Commercial 1 District as of February, 2015 that was submitted to R.M. Council, included a proposed list of permitted and discretionary uses, and is attached as Appendix K. Subsequently, in April, 2015 a Rezoning Agreement was prepared outlining a proposed list of permitted and discretionary uses. The agreement is attached as Appendix L and is subject to approval by the Corman Park-Saskatoon Planning District Commission and R.M. of Corman Park Council. The modified list of uses outlined in the draft rezoning agreement is as follows:

Permitted Uses:

1. Automotive Repair Shop
2. Animal Health Care Facility
3. Commercial Storage Centre
4. Food Service Use
5. Public Market
6. Public Utility or Municipal Facilities
7. Retail Store

Discretionary Uses:

1. Commercial Recreation
2. Telecommunications Facility

The uses that are proposed to be deleted from the DC1 District (through the rezoning agreement) in order to mitigate conflict with surrounding land uses are as follows:

1. Accommodation Service

2. Amusement and Entertainment Service
3. Auction Facility
4. Automotive Sales / Rentals
5. Community Care Facility
6. Internment Service
7. Recreational Vehicle Sales / Rentals
8. Agricultural Support Service
9. Business Support Service
10. Commercial Complex
11. Equipment Sales / Rentals
12. Local Waste Management and Remediation Industry
13. Warehousing
14. Warehouse Sales
15. Wholesale Trade

If rezoning to DC1 by agreement is approved, the Developer intends to market the development and the response to such marketing will influence the number of sites actually subdivided. A subdivision application, development permits and possibly discretionary use applications would be forthcoming at a later date. The Developer also owns a construction company, so their preferred approach to developing the site would be to subdivide lots, construct buildings, and lease out the buildings to prospective business clients. If this were not feasible, the Developer would consider subdividing lots and selling them to individual business owners.

A previous application for rezoning of this site to DC1 (with no zoning agreement) was recommended for approval by the Corman Park – Saskatoon Planning Commission on May 8, 2013. At that time, it was recognized that the site was designated for Commercial Development on the Future Land Use Map for the District. The proposal to rezone from DC2 to DC1 (with no zoning agreement) ultimately was defeated by R.M. Council in June of 2013. Subsequent to this (in late 2014) and pursuant to mediation discussions between the R.M. and the Developer, it was recommended that a revised proposal be submitted to the Planning Commission and R.M. Council for their consideration.

2 INVENTORY AND ANALYSIS

2.1 EXISTING LAND USE

Parcel M of the NW-33-35-5 W3M encompasses an area of 3.73 ha (9.22 ac) of land. The parcel is currently occupied by a vacant residence and associated service garage. The topography is described as hummocky and is dotted with small mounds and depressions.

2.2 PROPOSED LAND USE

The proposed land use is a commercial development that will offer services to surrounding rural residents, in a convenient location. One acreage residence is located within the parcel boundaries, in addition to a service garage. The residence on the property currently sits vacant.

2.3 SERVICING

- Access to the commercial parcel will be along Grasswood Road.
- It is anticipated that shallow utilities will be provided by SaskPower, SaskEnergy and SaskTel. The Developer has contacted these utilities but is awaiting a response. It is anticipated that these utilities will be located within the road rights-of-ways to provide service to the front of each lot. Utility services exist within close proximity to the site.
- The site drainage plan currently situates the water retention pond centrally and adjacent to the buffer strip on the south boundary of the site (see Appendix Z). The neighbour to the south identified concerns with the pond being located near their property and the developer is willing to situate the pond adjacent to the east boundary of the site. Most drainage plans locate the retention ponds centrally to allow more gradual sloping towards the ponds (e.g. the attached drainage plan). We question the actual benefit of moving the pond from a central location to a location on the periphery, but nonetheless have included this as a condition in the draft rezoning agreement. In any case, the drainage plan will need to meet R.M. standards and be approved by the WSA prior to development.
- All sanitary sewage produced in the development will be contained on-site in a holding tank sized to contain adequate volume for the site. It is anticipated that the holding tanks will be sized in the detailed design phase of the proposed development. A licensed hauler will be contracted to transport the waste to a licensed facility.
- It is anticipated that potable water will be supplied by either the Dundurn Rural Water Utility or the R.M. of Corman Park.

3 DESIGN ELEMENTS

3.1 CONCEPT

The proposed development is a culmination of marketing, community research and planning. This development is designed to integrate access to convenient commercial uses for the surrounding rural residential developments without affecting the rural amenity of the area.

The Developer intends to provide a mixture of commercial uses that are complementary to the surrounding area. Having resided on the land for over 30 years, it is imperative to the Developer that the commercial developments are complimentary to, as well as viewed as an amenity, by surrounding residents.

3.2 LAND USE

The proposed commercial development is surrounded by existing residential development. The parcel is considered to be a part of the Grasswood South subdivision. Other residential development in the area includes Grasswood North to the northeast, the Organized Hamlet of Furdale to the northwest, and the Organized Hamlet of Riverside Estates to the west-southwest.

4 TRANSPORTATION AND MUNICIPAL SERVICES

4.1 COMMUNITY ACCESS

The proposed Grasswood Business Centre is located on the southeast corner of Highway #219 and Grasswood Road. Highway #219 was recently been upgraded to accommodate increased traffic volumes. Grasswood Road is a single lane rural collector municipally maintained roadway with 8.0 m of paved surface. The location of the proposed Grasswood Business Centre negates the need for the construction of any new roadways; however, one approach to the development is required. The proposed development was submitted to the Saskatchewan Ministry of Highways and Infrastructure and it was indicated that an approach on Highway #219 would not be permitted, as it is an access controlled roadway, which requires a minimum intersection to access road spacing of 400 m. As such, one proposed access road is located on Grasswood Road and is situated in such a way to meet the Ministry's locational standards. If deemed necessary by the RM, a Traffic Impact Study will be commissioned by the Developer.

4.2 INTERNAL ROADS

The internal road will be constructed to the R.M. of Corman Park's standard for internal commercial and industrial roads at the expense of the Developer.

4.3 POTABLE WATER SUPPLY AND DISTRIBUTION

In terms of potable water, two potential sources have been identified in the immediate surrounding area. Currently, the R.M. of Corman Park has a 150 mm diameter pressurized water main running along the east boundary of the proposed development location known as the Grasswood Water System. The Dundurn Rural Water Utility (DRWU) has a non-pressurized water main running along the north side of Grasswood Road and the west side of Highway #219. AECOM conducted a Round 2 Water System Assessment (WSA) of the existing Grasswood Water System. It was concluded that the Grasswood reservoir has ample storage to provide potable water and fire protection and could accommodate future growth in the area. The DRWU has indicated that they can service the proposed development, however, it would be up to the user to pressurize the lines and store water on-site. Additionally, an ample supply of water must be stored on-site to provide fire protection. If the option to receive water from the DRWU is pursued, the DRWU has indicated they could provide a cost estimate of the installation up to the meter in each building.

4.4 WASTEWATER TREATMENT

In terms of wastewater management, it is anticipated that all sanitary sewage produced in the development will be contained on-site in a holding tank sized to contain adequate volume for the site. It is anticipated that the holding tanks will be sized in the detailed design phase of the proposed development. Envirotec Services has expressed interest in providing sewage collection and disposal services for the development (see Appendix I).

4.5 DRAINAGE AND STORMWATER MANAGEMENT

The runoff impacts of the proposed development at Parcel M of the NW 1/4 Section-33-35-5-W3M were reviewed by AECOM. It was observed that the site drains from the northwest corner to the southeast corner. The land is characterized as hummocky and is dotted with small mounds and depressions. The pre-development runoff for the site was calculated at 124 litres per second for a 1:100 year storm event. The proposed drainage system at the development would entail grading the site to provide overland drainage to a wet pond on the east portion of Parcel M. The wet pond would provide storage for a 1:100

year storm event, with a freeboard allowance of an additional 25%. It was determined that the parking lots would be comprised of gravel instead of asphalt, thereby decreasing the impermeable compacted surfacing and, as such, lowering the post-development runoff volume. It was calculated that draining the pond from High Water Level (HWL) to Normal Water Level (NWL) over a 48-hour period will generate a post-development runoff of 13.9 litres per second.

In terms of the water retention pond, the floor elevation was calculated at 503 metres. At NWL, the depth shall be 2.0 metres. The NWL will be at 505.0 metres, which will provide sufficient slope to drain the pond to the southeast corner of the site. The pond will have an operating depth of 1.8 metres from NWL to the HWL and an additional 0.3 metres to the freeboard (FB) level. The pond's length to width ratio was calculated at approximately 3.5:1. Side slopes will vary from 3:1 to 5:1 and the bottom of the pond would be graded with minimum longitudinal and lateral slopes of 100:1. It was indicated that the existing drainage pattern will be maintained, therefore eliminating the need to obtain easements to drain the site. This information was submitted to SWA for review. It was determined that approval would not be required as long as water was not diverted along the west and north ditches, resulting in a downstream impact. The site drainage plan currently situates the water retention pond centrally and adjacent to the buffer strip on the south boundary of the site. The neighbour to the south identified concerns with the pond being located near their property and the developer is willing to situate the pond adjacent to the east boundary of the site. Most drainage plans locate the retention ponds centrally to allow more gradual sloping towards the ponds (e.g. the attached drainage plan). We question the actual benefit of moving the pond from a central location to a location on the periphery, but nonetheless have included this as a condition in the draft rezoning agreement. In any case, the drainage plan will need to meet R.M. standards and be approved by the WSA prior to development.

4.6 SHALLOW UTILITIES

The Developer has contacted various public utility companies with regard to the placement of shallow utilities to the site including power, natural gas, and telephone. A response from these utility providers has not yet been received, however, it is noted that each of these services is present within the immediate surrounding area. Therefore, it is not anticipated that there would be any issues with servicing the development.

4.7 SOLID WASTE DISPOSAL

In terms of solid waste, Loraas Disposal has indicated that they would be willing to remove the waste at the proposed commercial development (see Appendix H).

5 OTHER

5.1 GEOTECHNICAL

Geotechnical investigations were conducted by AECOM. The investigations were conducted to characterize the subsurface conditions at the site of the proposed parking lot and to provide recommendations concerning pavement design and utility installation. Subsurface geology was investigated by drilling six (6) test holes in addition to the installation of two (2) standpipe piezometers. Four test holes were advanced to a depth of 3.5 m below the existing ground surface, while the additional two tests were advanced to a depth of 5.0 m below the existing ground surface. Piezometer data (water levels) was measured twice: immediately after drilling and again on January 26, 2012. Groundwater levels were measured between 2.02 m and 2.25 m below existing ground surface. The subsurface soil profile was characterized in descending order as topsoil, clay, sand and clay. Based on the soil encountered and existing groundwater conditions, it was concluded that the area is considered suitable for the development of a proposed parking lot. Frost depth was estimated at 2.5 m below ground surface. It was recommended that all pipes and footings be placed at a depth greater than 2.5 m below surface to protect against frost action. Several recommendations concerning site preparation, excavations and backfill, frost penetration, and pavement structure are also made in the geotechnical investigation.

5.2 FIRE AND PROTECTIVE SERVICES

The Developer is working with Saskatoon Fire and Protective Services to ensure that there are no concerns with the proposed development. The R.M. of Corman Park currently funds the Saskatoon Fire Department to provide coverage within the Municipality. The Corman Park Police Service currently works in conjunction with the R.C.M.P. to provide protective services to the area.

Correspondence with the Deputy Chief from Saskatoon Fire and Protective Services indicating the type of response required, including equipment and staff is attached as Appendix F. It was indicated that, as per the service agreement with the R.M. of Corman Park, a minimum staff of 13 and the following apparatus would be provided for a structure fire:

- E-3 from #3 station; Taylor Street and York Ave; 500 gallon tank, 6005 Lpm
- E-10 from #1 station; Idylwyld Dr. S.; 500 gallon tank; 6005 Lpm
- T-23 Bush & Grass Truck #5 station; 421 Central Ave; 260 gallon tank;
- T-24 Tanker #5 station; 421 Central Ave; 3000 US gal; 500 us gpm
- Car 53 - Battalion Chief (command).

The Deputy Chief indicated that they do not depend on onsite water supplies.

5.3 ECOLOGICAL AND HERITAGE CONCERNS

AECOM contacted Saskatchewan Environment in January 2012 to identify whether an environmental assessment would be required for the development of the proposed business centre. It was indicated that an Environmental Impact Assessment (EIA) would not be required for the project (see Appendix G).

In terms of heritage resources, a screening was completed through the Heritage Conservation Branch. The screening indicated that the quarter section is not heritage sensitive, and as such, there are no further concerns with the development.

6 STAGING AND IMPLEMENTATION

The proposed commercial development will be developed in a single phase. The current concept plan (as attached in Appendix A) proposes up to six commercial lots. It is anticipated that the stormwater management pond would be constructed at this time as well. While the water retention pond is primarily functional in nature, it is proposed that the surrounding site be landscaped to add to the aesthetic value of the property.

Additional landscaping in the form of buffers are proposed along all four sides of the subject property. This landscaping will visually buffer the development from Highway #219 and Grasswood Road, as well as from surrounding residential properties located on the east and south sides of the parcel. It is suggested that a mix of coniferous and deciduous trees be planted, and should additional fill be obtained during construction, berms could be incorporated into the green spaces to enhance the aesthetic value of the property.

If rezoning to DC1 by agreement is approved, the Developer intends to market the development and the response to such marketing will influence the number of sites actually subdivided. A subdivision application, development permits and possibly discretionary use applications would be forthcoming at a later date. The Developer also owns a construction company, so their preferred approach to developing the site would be to subdivide lots, construct buildings, and lease out the buildings to prospective business clients. If this were not feasible, the Developer would consider subdividing lots and selling them to individual business owners.

7 PUBLIC CONSULTATION

A public open house was held on May 22, 2012 from 6 p.m. to 8 p.m. at the SCPCA Log Cabin. Information presented at the public open house included conceptual site drawings and a detailed explanation of the differences between DC2 (existing zoning) and DC1 (desired zoning at that time). Several neighbours attended the open house and one written response was received from the neighbours immediately to the south of the proposed development site. Concerns included increased traffic, drainage, type of potential commercial development and impact on property values. In terms of response the developer offers the following:

1. **Traffic:** The volume and type of traffic are not known at this time. Based on response to marketing, the developer proposes to subdivide the site and undertake a Traffic Impact Assessment (TIA) if deemed necessary by the R.M. and Community Planning Branch, based on the subdivision application. If deemed necessary, the TIA would examine the suitability of surrounding roads and traffic safety issues.
2. **Drainage:** The developer's drainage plan includes the construction of a storm water retention pond. AECOM has designed this pond to meet the RM's standard of accommodating a 1 in 100 year storm event, plus 25%. The Saskatchewan Water Security Agency (formally Saskatchewan Watershed Authority) has reviewed the drainage plan and determined that the development would not require approval under their legislation. If the rezoning agreement was approved and the storm water retention pond was to be moved to the east side of the site, a revised engineered drainage plan would be submitted to the R.M. and WSA for review.
3. **Type of Potential Commercial Development:** Actual development within the subdivision is undetermined at this time. If the site is rezoned from DC2 to DC1 by agreement, the Corman Park - Saskatoon Planning District Zoning Bylaw will provide for a series of permitted and discretionary uses (along with appropriate development standards) that could potentially take place on the development site. The District Planning Commission and R.M. Council ultimately would have final decision making power on any potential discretionary use applications within the development.
4. **Impact on Property Values:** The type of commercial uses within the proposed development will be guided by the Corman Park - Saskatoon Planning District Zoning Bylaw. The developer also proposes to provide landscaping and external buffers for the development for aesthetic purposes.

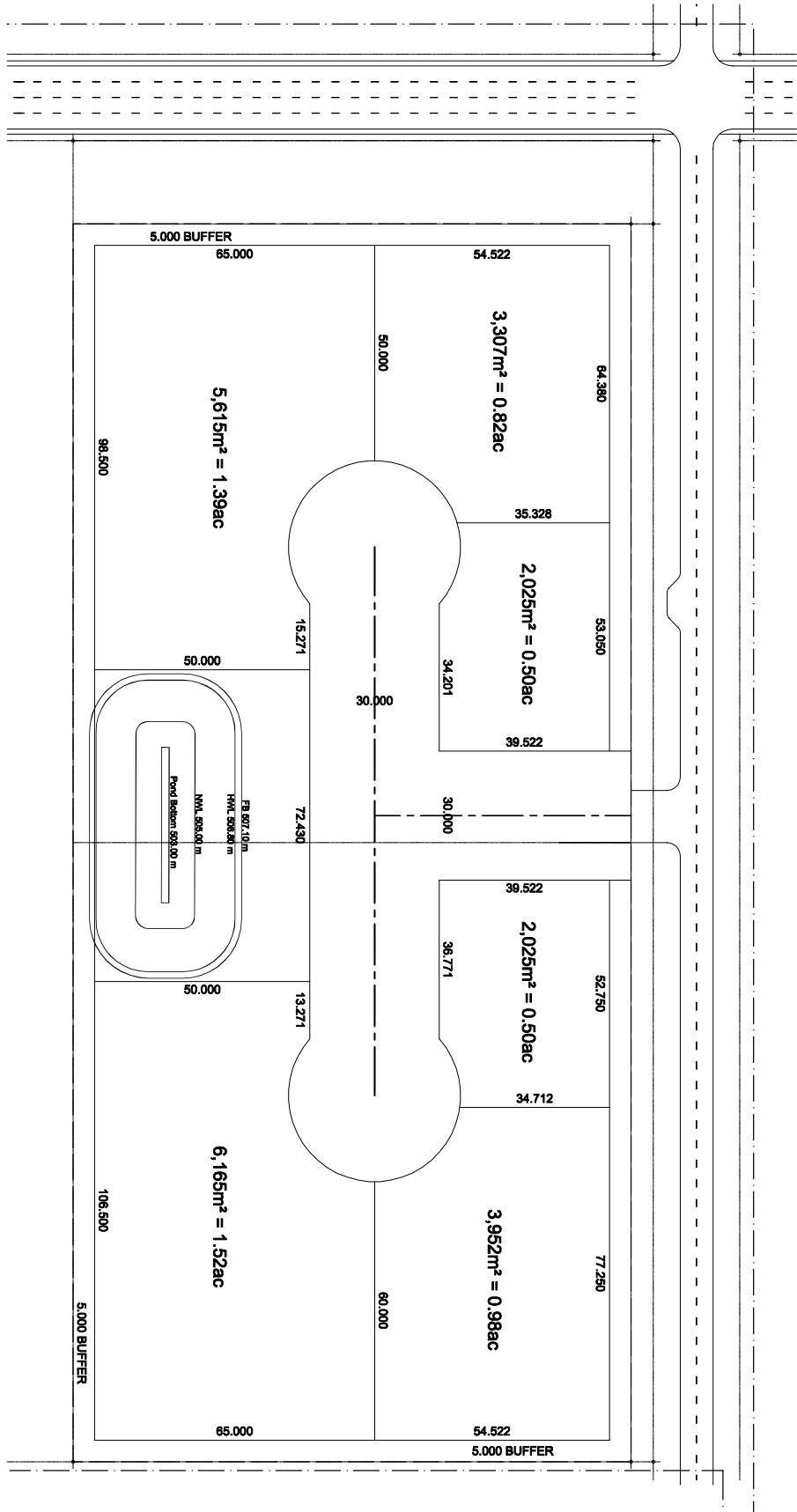
A second letter was sent to neighbours in June, 2014 to neighbouring properties to the proposed development. Concerns included light pollution, landscaping and the provision of buffers, drainage, fencing, snow clearing and traffic (see responses in Appendix J). A summary of Developer responses to these concerns is listed below:

1. **Light:** The developer will use techniques and standards consistent with the current version of the International Dark Sky Association Lighting Code Handbook for outdoor lighting on the sites and in the streets. Further to this, the rezoning agreement requires site and street light fixtures be compatible with the standards of the IDA.
2. **Landscaping and Buffers:** Additional landscaping in the form of buffers along all four sides of the property is proposed. Development permits that come forward if the proposal goes ahead are subject to an additional layer of standards and regulations including landscaping standards.
3. **Drainage:** an engineered drainage plan that meets the RM of Corman Park's drainage standards has been completed. If a revised drainage plan is completed, it will be prepared by a professional engineer and require approval of the R.M. and WSA.
4. **Fencing:** The developer plans to build a fence along the south side of the site.
5. **Snow Clearing:** The developer has indicated that the sale agreements will require snow clearing along the south property line to address drainage issues.

6. **Traffic:** The developer is prepared to undertake a Traffic Impact Assessment study in order to address safety concerns if necessary, however the location of the approach to the site was referred to the Ministry of highways and it will meet their locational standards.

8 APPENDICES

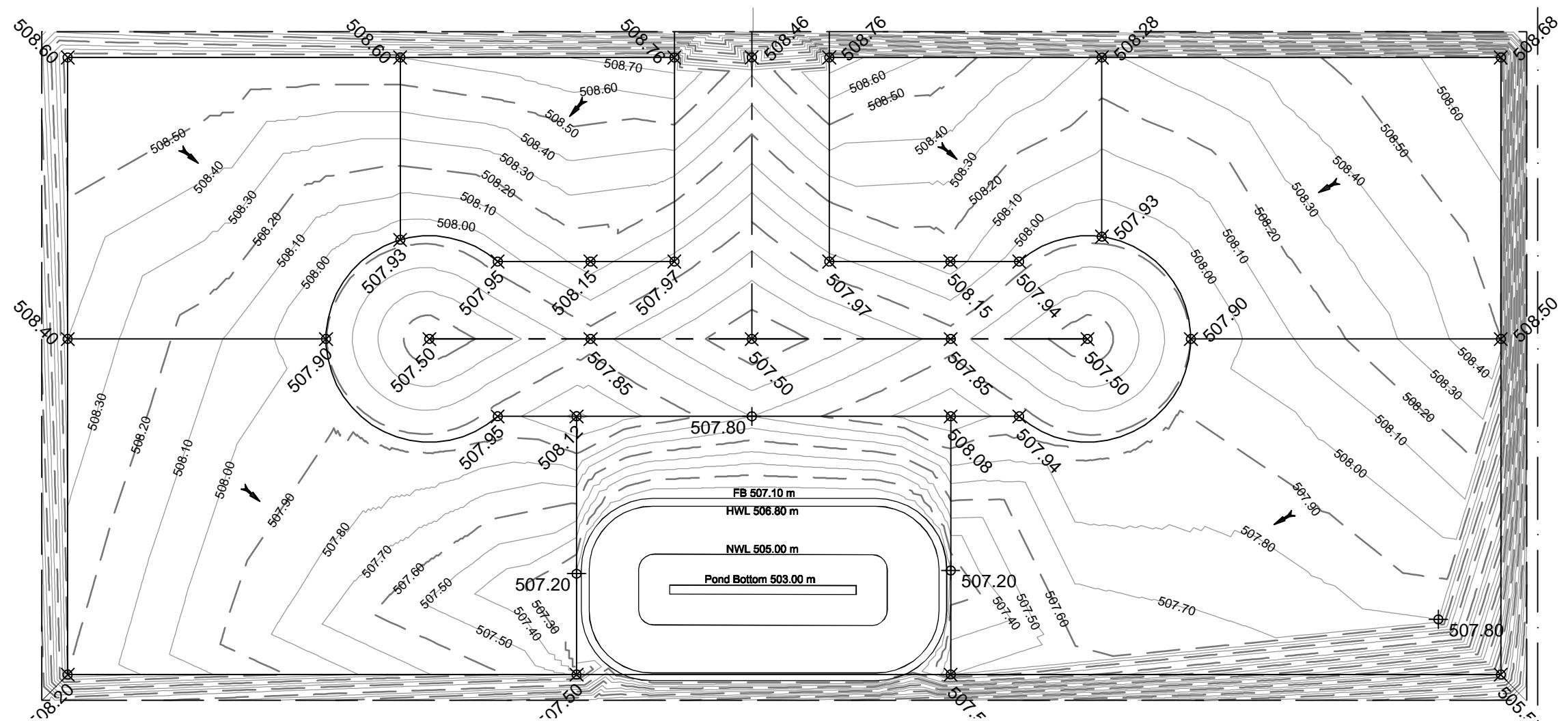
Appendix A
Development Concept Plans



AECOM

60239494_01-CL-F008_RX.DWG
DESIGN CONTOURS, FIGURE: 08
CHRISTMAS PROPERTIES LTD., GRASSWOOD BUSINESS CENTER
Project No.: 6023949

Issue Status: DRAFT



LEGEND

MAJOR CONTOUR
MINOR CONTOUR
DRAINAGE ARROW
DESIGN ELEVATIONS
(FINISHED GRADE)

508.50
508.40

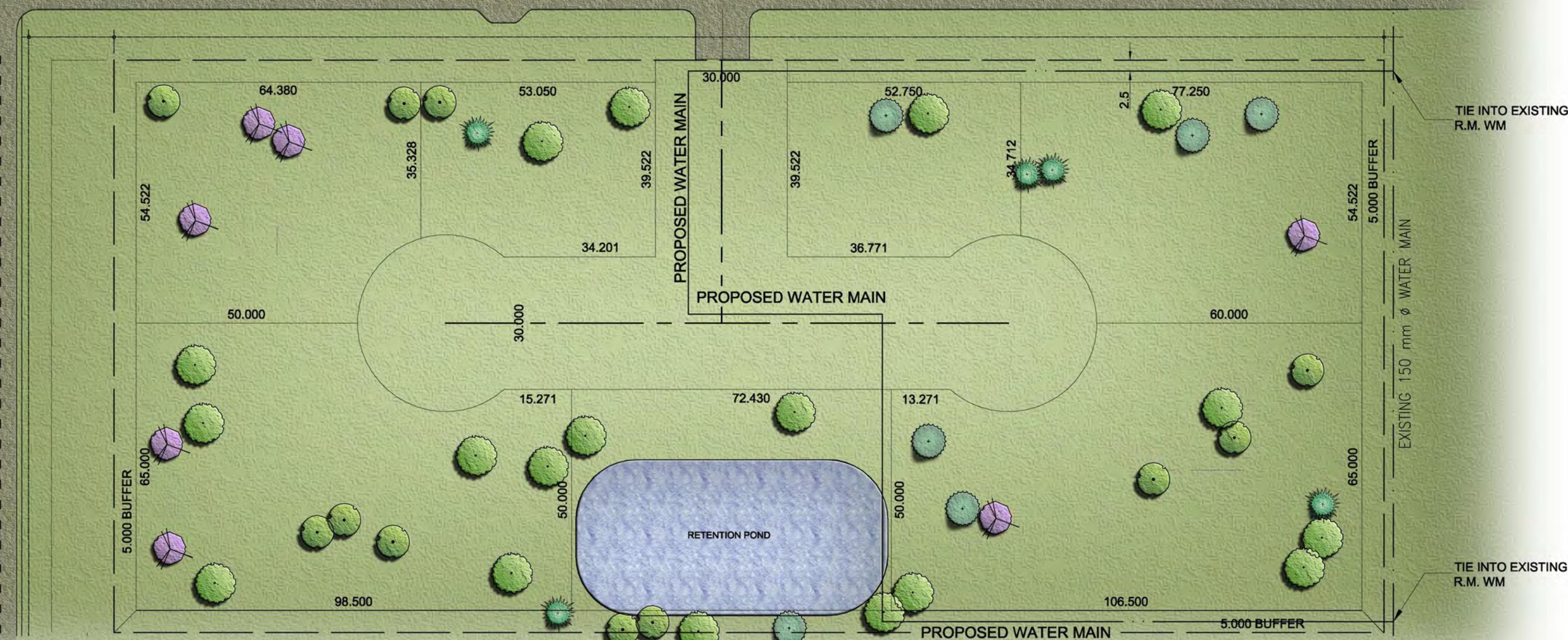
507.93



HIGHWAY NO. 219

EXISTING DRWU 200 mm Ø WATER MAIN

GRASSWOOD ROAD



0 10 20 30 m SCALE 1:1000

FOR ILLUSTRATIVE PURPOSES ONLY

LEGEND

DECIDUOUS TREES

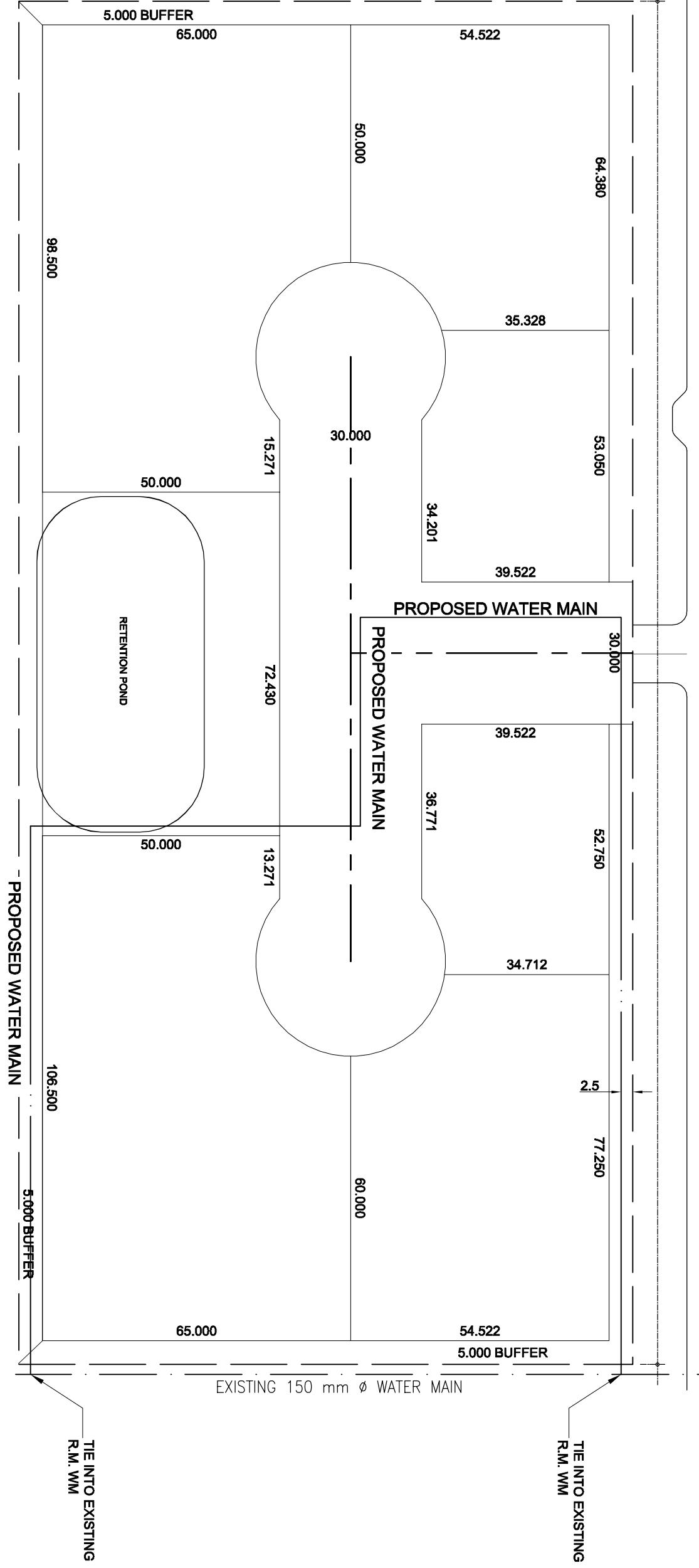
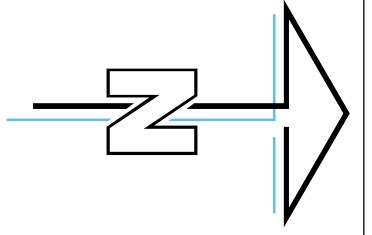
CONIFEROUS TREES



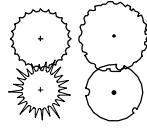
Issue Status: DRAFT

60239494_01-CL-F010_RX.DWG
PROPOSED LANDSCAPE PLAN, FIGURE: 10
CHRISTMAS PROPERTIES LTD., GRASSWOOD BUSINESS CENTER
Project No.: 60239494

HIGHWAY NO. 219



DECIDUOUS TREES



Issue Status: DRAFT

Appendix B
Ministry of Highways and Infrastructure Correspondence

Bourassa, Alexis

From: Harris, Brandon HI [Brandon.Harris@gov.sk.ca]
Sent: Tuesday, January 10, 2012 4:25 PM
To: Bourassa, Alexis
Cc: Shafi, Qasim; Yagelnesky, Lavern HI
Subject: RE: Grasswood Business Centre - Access Roads

Alexis,

Thank you for submitting your request early in your planning stages.

We have reviewed the plan and the Ministry will not be able to permit an approach to Highway 219 at this location. Highway 219 is an access controlled highway with new accesses allowed at a minimum spacing of 400m. Access controls are important along busy highways to protect the safety of road users. Accesses located in close proximity result in driver distraction and introduce additional conflict points, increasing the probability of collisions. From our analysis of the plan, the proposed access is only approximately 80 m from Grasswood Road which is far below our minimum requirements.

The second approach off Grasswood Road meets the Ministry's standard of a desirable 155m setback.

Please let me know if I can provide any more information.

Thanks,

Brandon Harris, P. Eng.

Director of Asset Management, Central Region
Saskatchewan Ministry of Highways and Infrastructure
Office: (306) 933-5197

From: Bourassa, Alexis [<mailto:Alexis.Bourassa@aecom.com>]
Sent: Tuesday, January 10, 2012 3:22 PM
To: Harris, Brandon HI
Cc: Shafi, Qasim
Subject: Grasswood Business Centre - Access Roads

Hello Mr. Harris,

AECOM has been asked to perform civil site services for a site in the R.M. of Corman Park (No. 344). The proposed project is called the Grasswood Business Centre and is located in the NW ¼ of 33-35-05-3. Presently, we are preparing the preliminary design and verifying that the site can be built.

I have attached a site plan for the business centre. Could you please let me know if the two proposed access roads are acceptable to the Ministry's standards?

Thank you for your time and consideration of this project. If you require further information, please let me know.

Sincerely,

Alexis Bourassa, P.Eng.

Civil Engineer, Land Development, Water

D 306.657.8875

alexis.bourassa@aecom.com

AECOM

200-2100 8th St. E.

Saskatoon, SK, S7H 0V1

T 306.955.3300 F 306.955.0044

www.aecom.com

<<Site Plan - Grasswood Business Center.pdf>>

Appendix C
Geotechnical Report

Memorandum

To	Qasim, Shafi	Page	1
CC	File		
Subject	Christmas Properties Ltd. – Grasswood Business Centre Geotechnical Investigation		
From	Martin Wushke		
Date	April 17, 2012	Project Number	60239494.400

1. Introduction

A geotechnical investigation was conducted to characterize the subsurface conditions at the site of the proposed parking lot and provide recommendations for pavement design and utility installation. The field program included drilling of six (6) testholes and installation two (2) standpipe piezometers. Four (4) testholes were advanced to a depth of 3.5 m below the existing ground surface and two (2) testholes were advanced to a depth of 5.0 m below the existing ground surface. . The piezometers were measured twice: immediately after drilling and on January 26, 2012.

2. Geotechnical Investigation

On December 13, 2011, six testholes (TH11-01 to TH11-06) were drilled within the proposed development to assess the soil and groundwater conditions. The approximate locations of the testholes are shown on Figure 1 (attached). Drilling was carried out by Boss Drilling of Saskatoon using a truck mounted drilling rig equipped with solid stem augers. TH11-01, TH11-02, TH11-03 and TH11-05 were advanced to a depth of 3.5 m below existing grade. TH11-04 and TH11-06 were advanced to a depth of 5.0 m below existing grade. Disturbed (grab) samples from the drill stem were collected at regular intervals. All soils observed during drilling were logged and visually classified on site by AECOM personnel.

Standpipe piezometers were installed in TH11-04 and TH11-05 to facilitate measurement of groundwater levels. Piezometer construction details are shown on the testhole logs attached.

The Laboratory testing consisted of determination of moisture content, Atterberg limits and grain size for select samples.

A detailed testhole log has been prepared for each testhole to record the description and the relative position of the various soil strata, location of samples obtained, field and laboratory test results, and other pertinent information. The testhole logs are attached.

2.1 Subsurface Conditions

In descending order from the ground surface, the general soil profile is:

- Topsoil
- Clay
- Sand
- Clay

The soil units encountered are described separately as follows:

Topsoil

Topsoil, varying in thickness from 100 mm to 1200 mm thick was encountered at the ground surface in all testholes.

Clay

Native silty sandy clay was encountered in TH11-01, TH11-04 and TH11-05 below the topsoil and extended to a maximum depth of 1.8 m below ground surface. The clay layer varies in thickness from 0.3 m to 0.7 m. The moisture contents range from 9.6 to 18.8 percent. The soil is classified as of intermediate plasticity based on visual classification.

Sand

Native silty sand layer was encountered below the clay layer in TH11-01, TH11-04 and TH11-05, and below the topsoil in TH11-02, TH11-03 and TH11-06. The sand layer extended to depths from 1.7 m below ground surface to the maximum depth explored of 5.0 m. The sand contains trace amounts of clay, is damp to wet, loose to compact and fine grained. Moisture content of the sand ranges from 6 to 33 percent. Some sloughing was encountered within this sand layer.

Clay

Clay was encountered in TH11-02, TH11-03 and TH11-04 below the sand and extended to the depth of exploration of 5.0 m below ground surface. The clay is silty and contains trace to some sand. The moisture contents range from 29 to 34 percent. The soil is classified as of high plasticity based on a liquid limit and plasticity index of 59 and 39, respectively.

2.2 Groundwater

Seepage and sloughing was observed within the sand layer encountered during drilling. Standpipe piezometers were installed in TH11-04 and TH11-05. A groundwater measurement was performed on January 26, 2012. The result is provided in Table 01. It should be noted, that the groundwater level may not have reached equilibrium, and may vary seasonally or as a result of construction activities.

Table 01: Groundwater Level Measurement

Date	TH11-04	TH11-05
January 26, 2012	EI. 504.48 (2.02 m below existing grade)	EI. 504.83 (2.25 m below existing grade)

3. Group Index Values and Estimated California Bearing Ratio

The Soaked California Bearing Ratio (CBR) was estimated for the predominant soil type encountered during the drilling based on the correlation between Group Index (GI) value and CBR, as per Section SM940 of the Ministry of Highways and Infrastructure Surfacing Manual, 2001. The results are provided in Table 02.

Table 02: Estimated Soaked CBR Values

Sample ID	Testhole No.	Soil Type	Depth Below Ground (m)	Estimated Soaked CBR
17	TH11-03	Sand	0.75 – 0.9	13
6	TH11-06	Sand	2.3 – 3.0	13

The estimated CBR values can be used to complete the parking lot design in conjunction with the subgrade strength evaluation guidelines defined in Section SM940 of the Ministry of Highways and Infrastructure Surfacing Manual, 2001.

4. Geotechnical Recommendations

4.1 General

Based on the encountered soil and groundwater conditions, this area is considered suitable for the proposed parking lot development. Geotechnical recommendations for pavement design and utility installation are included in the sections below. Frost depth is estimated at 2.5 m below ground surface. All pipes and footing should be placed at depth greater than this depth to protect against frost action.

4.2 Site Preparation

Topsoil and organic material should be removed and wasted or be re-used for landscaping purposes, if suitable. Fill required in establishing design grade elevations should be engineered fill comprised of clean, well-graded granular soils or inorganic, low to medium plastic clay. Fill should be placed in lifts not exceeding 200 mm compacted thickness and compacted to a minimum of 98% of the Standard Proctor Maximum Dry Density (SPMDD) within $\pm 2\%$ of the optimum moisture content.

High plastic clay can be used for landscaping areas only. Such soils should be placed in compacted lifts not exceeding 300 mm and compacted to a density of not less than 90% of Standard Proctor Maximum Dry Density (SPMDD).

Where soft subgrade is encountered, these soils should be removed and replaced with a granular material or low to medium plastic clay. The granular material or low to medium plastic clay fill should be compacted to 98% of the SPMDD within $\pm 2\%$ of the optimum moisture content.

Fill materials should not be placed in a frozen state or placed on a frozen subgrade. All lumps of material should be broken down during placement. Where maximum-size particles in any fill material exceed 50% of the lift thickness or minimum dimension of the cross-section to be backfilled, such particles should be removed and placed at other more suitable locations on-site or screened-off prior to delivery to site.

4.3 Excavations and Backfill

Excavations will be required for underground utility trenches. All Excavations should be carried out in accordance with the Occupational Health and Safety Regulations. The composition and consistency of the soils encountered in the testholes at the site were such that excavations with conventional earthmoving equipment, and/or hydraulic excavators are considered feasible. Temporary excavations less than 3 m in depth should have side slopes cut no steeper than 3H:1V. If excavations are open for an extended period of time or if excessive groundwater seepage conditions are encountered, the side slopes may require further flattening or shoring installation to provide a safe working environment.

Based on the subsurface conditions in the testholes, groundwater seepage from the sides and the base of the excavation is expected. Perimeter ditches, sump and pump or well points system would provide effective dewatering methods. Grading should be undertaken so that surface water is not allowed to pond adjacent to the excavation.

Temporary surcharge loads, such as excavated material, construction materials and equipment, should be placed such that the toe of the surcharge is at a minimum distance equal to the depth of the excavation. All excavations should be protected from surface runoff and checked regularly for signs of sloughing, especially after periods of precipitation. The base and side walls of the excavation should be protected from frost during construction, if construction commences in winter.

Sloughing was observed during drilling activities, therefore, the potential cannot be ruled out during any excavation and trenching activities and provisions for slough control should be allowed for, in the project schedule and budget.

4.4 Frost Penetration

The native silty sand encountered is generally considered to be a frost susceptible soil. For design, the depth of frost penetration should be taken as 2.5 m, structure footings and foundations for culverts or other frost sensitive structures should be set below this depth. Alternatively, the fills beneath these structures should be non-frost susceptible granular material to at least the depth of

frost penetration. Insulation specified for underground use can be used as required to protect against damage due to frost effects.

4.5 Pavement Structure

The subsurface conditions at the site are considered suitable for pavement construction. Should frost susceptible soil encountered within subgrade it should be removed and replaced with frost non-susceptible soil for a depth equal to half the frost penetration depth. It is our understanding, at the time of this report, the details regarding traffic demands, and site grading are yet to be finalized. It is also our understanding that fills may be required across the site and that the source and material type to be used is yet to be determined.

Further recommendations related to pavement structure design can be provided once the details identified above have been finalized.

Respectfully submitted,

AECOM Canada Ltd.

Reviewed by

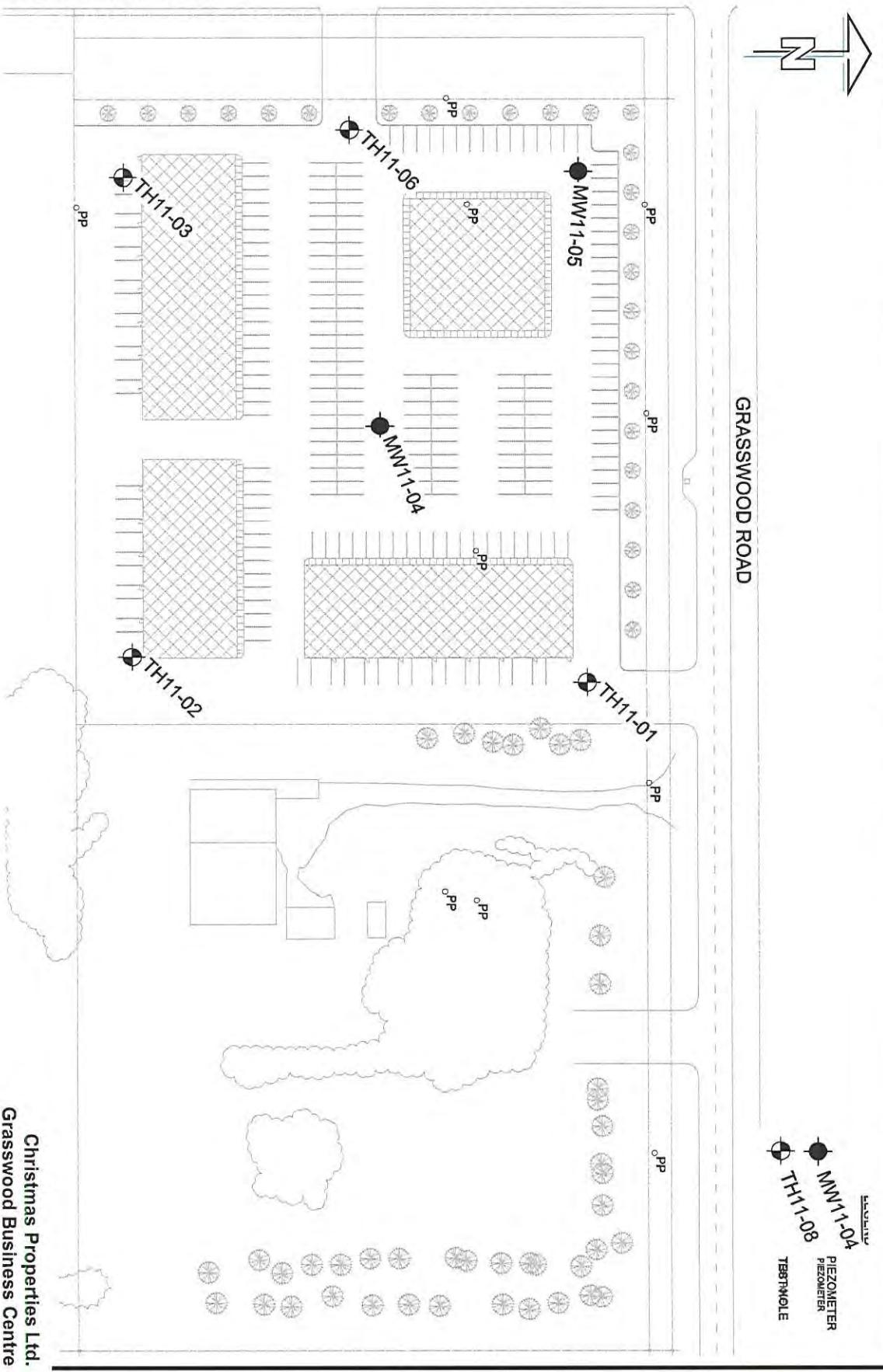


Martin Wushke, P.Eng.
Geotechnical Engineer

Faris Khalil, M.Sc., P.Eng.
Senior Geotechnical Engineer

ASSOCIATION OF PROFESSIONAL ENGINEERS & GEOSCIENTISTS OF SASKATCHEWAN		
CERTIFICATE OF AUTHORIZATION		
AECOM Canada Ltd.		
NUMBER C1667		
PERMISSION TO CONSULT HELD BY:		
DISCIPLINE	SASK. REG. No.	SIGNATURE
GEO TECH	15870	

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Christmas Properties Ltd.
Grasswood Business Centre
Geotechnical Evaluation

Figure 1

Piezometer Locations

AECOM Canada Ltd.

GENERAL STATEMENT

NORMAL VARIABILITY OF SUBSURFACE CONDITIONS

The scope of the investigation presented herein is limited to an investigation of the subsurface conditions as to the suitability of the proposed project. This report has been prepared to aid in the evaluation of the site and to assist the engineer in the design of the facilities. The description of the project represents an understanding of the significant aspects of the project relative to the design and construction of earth work, foundations, and similar. In the event of any changes in the basic design or location of the structures as outlined in this report or plan, AECOM should be given the opportunity to review the changes and to modify or reaffirm, in writing, the conclusions and recommendations of this report.

The analysis and recommendations represented in this report are based on the data obtained from the boreholes and test pits excavated at the locations indicated on the site plans and from other information discussed herein. This report is based on the assumption that the subsurface conditions everywhere on the site are not significantly different from those encountered at the test locations. However, variation in the soil conditions between the boreholes and test pits may exist. Also, general groundwater levels and conditions may fluctuate from time to time. The nature and extent of the variations may not become evident until construction. If subsurface conditions different from those encountered in the exploratory borings and excavations are observed or encountered during construction, or appear to be present beneath or beyond excavations, AECOM should be advised at once so that the conditions can be observed and reviewed and, where necessary, the recommendations reconsidered.

Since it is possible for conditions to vary from those identified at the test locations and from those assumed in the analysis and preparation of recommendations, a contingency fund should be included in the construction budget to allow for the possibility of variations which may result in modification of the design and construction procedures.

In order to observe compliance with the design concepts, specifications, or recommendations and to allow design changes in the event that subsurface conditions differ from those anticipated, it is recommended that all construction operations dealing with earthwork and the foundations be observed by an experienced geotechnical engineer. In addition, it is recommended that a qualified geotechnical engineer review the plans and specifications that have been prepared to check for substantial conformance with the conclusions and recommendations contained in the report.

EXPLANATION OF FIELD & LABORATORY TEST DATA

The field and laboratory test results, as shown for each hole, are described below.

1. NATURAL MOISTURE CONTENT

The relationship between the natural moisture content and depth is significant in determining the subsurface moisture conditions. The Atterberg Limits for a sample should be compared to its natural moisture content and plotted on the Plasticity Chart in order to determine the soil classification.

2. SOIL PROFILE AND DESCRIPTION

Each soil strata is classified and described noting any special conditions. The Modified Unified Classification System (MUCS) is used. The soil profile refers to the existing ground level at the time the hole was done. Where available, the ground elevation is shown. The soil symbols used are shown in detail on the soil classification chart.

3. TESTS ON SOIL SAMPLES

Laboratory and field tests are identified by the following and are on the logs:

- N - Standard Penetration Test (SPT) Blow Count. The SPT is conducted in the field to assess the in situ consistency of cohesive soils and the relative density of non-cohesive soils. The N value recorded is the number of blows from a 63.5 kg hammer dropped 760 mm which is required to drive a 51 mm split spoon sampler 300 mm into the soil.
- SO₄ - Water Soluble Sulphate Content. Expressed in percent. Conducted primarily to determine requirements for the use of sulphate resistant cement. Further details on the water soluble sulphate content are given in Section 6.
- γ_0 - Dry Unit Weight. Usually expressed in kN/m³.
- γ_T - Total Unit Weight. Usually expressed in kN/m³.
- Q_U - Unconfined Compressive Strength. Usually expressed in kPa and may be used in determining allowable bearing capacity of the soil.

- C_u - Undrained Shear Strength. Usually expressed in kPa. This value is determined by either a direct shear test or by an unconfined compression test and may also be used in determining the allowable bearing capacity of the soil.
- C_{PEN} - Pocket Penetrometer Reading. Usually expressed in kPa. Estimate of the undrained shear strength as determined by a pocket penetrometer.

The following tests may also be performed on selected soil samples and the results are given on separate sheets enclosed with the logs:

- Grain Size Analysis
- Standard or Modified Proctor Compaction Test
- California Bearing Ratio Test
- Direct Shear Test
- Permeability Test
- Consolidation Test
- Triaxial Test

4. SOIL DENSITY AND CONSISTENCY

The SPT test described above may be used to estimate the consistency of cohesive soils and the density of cohesionless soils. These approximate relationships are summarized in the following tables:

Table 1 Cohesive Soils

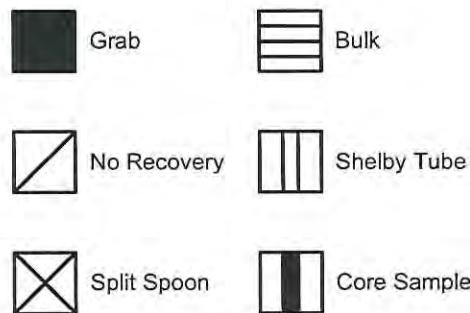
N	Consistency	C_u (kPa) approx.
0 - 1	Very Soft	<10
1 - 4	Soft	10 - 25
4 - 8	Firm	25 - 50
8 - 15	Stiff	50 - 100
15 - 30	Very Stiff	100 - 200
30 - 60	Hard	200 - 300
>60	Very Hard	>300

Table 2 Cohesionless Soils

N	Density
0 - 5	Very Loose
5 - 10	Loose
10 - 30	Compact
30 - 50	Dense
>50	Very Dense

5. SAMPLE CONDITION AND TYPE

The depth, type, and condition of samples are indicated on the logs by the following symbols:



6. WATER SOLUBLE SULPHATE CONCENTRATION

The following table, from CSA Standard A23.1-00, indicates the requirements for concrete subjected to sulphate attack based upon the percentage of water-soluble sulphate as presented on the logs. CSA Standard A23.1-00 should be read in conjunction with the table.

Table 3 Requirements For Concrete Subjected to Sulphate Attack*

Class of exposure	Degree of exposure	Water-soluble sulphate (SO_4) in soil sample, %	Sulphate (SO_4) in ground-water samples, mg/L	Minimum Specified 56 d compressive strength, MPa [†]	Maximum water/cementing materials ratio [‡]	Air content category §	Cementing materials to be used **
S-1	Very severe	over 2.0	over 10,000	35	0.40	2	50
S-2	Severe	0.20 - 2.0	1,500 - 10,000	32	0.45	2	50
S-3	Moderate	0.10 - 0.20	150 - 1,500	30	0.50	2	20E ^{‡‡} , 40, or 50E

* For sea water exposure see Clause 15.4

† Where supplementary cementing materials are used, the owner may also specify other test ages.

‡ See Clause 15.1.4

§ For steel trowelled interior slabs on grade, subject to sulphate attack but not freeze-thaw, air entrainment is not required.

** See Clause 15.1.5

†† Cementing material combinations with equivalent performance may be used (see Clauses 3.2, 3.3, and 3.4)

‡‡ Type 20E cement with moderate sulphate resistance (see Clause 3.1.2)

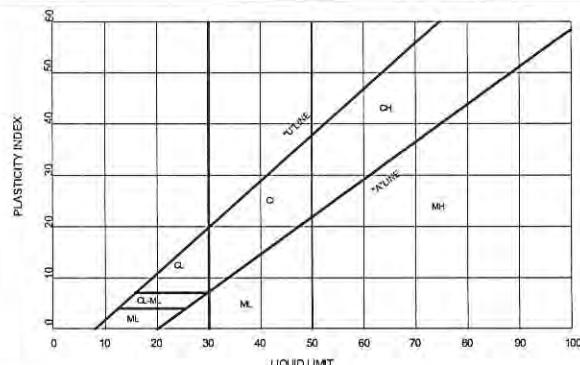
Note: Type 50E cement shall not be used in reinforced concrete exposed to both chlorides and sulphates. Refer to Clause 15.4.



7. GROUNDWATER TABLE

The groundwater table is indicated by the equilibrium level of water in a standpipe installed in a testhole or test pit. This level is generally taken at least 24 hours after installation of the standpipe. The groundwater level is subject to seasonal variations and is usually highest in the spring. The symbol on the logs indicating the groundwater level is an inverted solid triangle (\blacktriangledown).

MAJOR DIVISION			UMA LOG SYMBOLS	MUCS	TYPICAL DESCRIPTION	LABORATORY CLASSIFICATION CRITERIA			
COARSE GRAINED SOILS	GRAVELS (MORE THAN HALF COARSE GRAINS LARGER THAN 4.75 mm)	CLEAN GRAVELS (LITTLE OR NO FINES)	△ △ △ △ △ △	GW	WELL GRADED GRAVELS, LITTLE OR NO FINES	$C_u \cdot \frac{D_{10}}{D_{60}} > 4 \quad C_c + \frac{(D_{30})^2}{D_{10} \times D_{60}} = 1 \text{ to } 3$			
		DIRTY GRAVELS (WITH SOME FINES)	◆ ◆ ◆ ◆ ◆ ◆	GP	POORLY GRADED GRAVELS AND GRAVEL-SAND MIXTURES, LITTLE OR NO FINES	NOT MEETING ABOVE REQUIREMENTS			
		DIRTY GRAVELS (WITH SOME FINES)	◆ ◆ ◆ ◆ ◆ ◆	GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES	ATTERBERG LIMITS BELOW 'A' LINE W_p LESS THAN 4			
	SANDS (MORE THAN HALF COARSE GRAINS SMALLER THAN 4.75 mm)	CLEAN SANDS (LITTLE OR NO FINES)	· · · · · ·	GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES	CONTENT OF FINES EXCEEDS 12%	ATTERBERG LIMITS ABOVE 'A' LINE W_p MORE THAN 7		
		CLEAN SANDS (LITTLE OR NO FINES)	· · · · · ·	SW	WELL GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES	$C_u \cdot \frac{D_{10}}{D_{60}} > 6 \quad C_c + \frac{(D_{30})^2}{D_{10} \times D_{60}} = 1 \text{ to } 3$	ATTERBERG LIMITS BELOW 'A' LINE W_p LESS THAN 4		
		DIRTY SANDS (WITH SOME FINES)	◆ ◆ ◆ ◆ ◆ ◆	SP	POORLY GRADED SANDS, LITTLE OR NO FINES	NOT MEETING ABOVE REQUIREMENTS			
FINE GRAINED SOILS	SILTS (BELOW 'A' LINE NEGLIGIBLE ORGANIC CONTENT)	$W_L < 50$		ML	INORGANIC SILTS AND VERY FINE SANDS, ROCK FLOUR, SILTY SANDS OF SLIGHT PLASTICITY	CLASSIFICATION IS BASED UPON PLASTICITY CHART (SEE BELOW) WHENEVER THE NATURE OF THE FINE CONTENT HAS NOT BEEN DETERMINED, IT IS DESIGNATED BY THE LETTER 'F'. E.G. SF IS A MIXTURE OF SAND WITH SILT OR CLAY			
		$W_L > 50$		MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS				
	CLAYS (ABOVE 'A' LINE NEGLIGIBLE ORGANIC CONTENT)	$W_L < 30$		CL	INORGANIC CLAYS OF LOW PLASTICITY, GRAVELLY, SANDY, OR SILTY CLAYS, LEAN CLAYS				
		$30 < W_L < 50$		CI	INORGANIC CLAYS OF MEDIUM PLASTICITY, SILTY CLAYS				
		$W_L > 50$		CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS				
	ORGANIC SILTS & CLAYS (BELOW 'A' LINE)	$W_L < 50$		OL	ORGANIC SILTS AND ORGANIC SILTY CLAYS OF LOW PLASTICITY				
		$W_L > 50$		OH	ORGANIC CLAYS OF HIGH PLASTICITY				
HIGHLY ORGANIC SOILS				Pt	PEAT AND OTHER HIGHLY ORGANIC SOILS	STRONG COLOUR OR ODOUR, AND OFTEN FIBROUS TEXTURE			
BEDROCK				BR	SEE REPORT DESCRIPTION				



FRACTION		SIEVE SIZE (mm)		DEFINING RANGES OF PERCENTAGE BY WEIGHT OF MINOR COMPONENTS	
		PASSING	RETAINED	PERCENT	IDENTIFIER
GRAVEL	COARSE	75	19	50 - 35	AND
	FINE	19	4.75	35 - 20	— Y
SAND	COARSE	4.75	2.00	20 - 10	SOME
	MEDIUM	2.00	0.425	10 - 1	TRACE
SILT (non-plastic) or CLAY (plastic)	0.425		0.080	ROUNDING OR SUB-ROUNDING COBBLES 75 mm TO 200 mm BOULDERS >200 mm	
				ANGULAR ROCK FRAGMENTS ROCKS > 0.75 m³ IN VOLUME	
OVERSIZE MATERIALS					

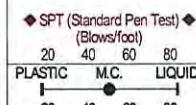
NOTE:

1. BOUNDARY CLASSIFICATION POSSESSING CHARACTERISTICS OF TWO GROUPS ARE GIVEN GROUP SYMBOLS, E.G. GW-GC IS A WELL GRADED GRAVEL MIXTURE WITH CLAY BINDER BETWEEN 5% AND 12%

MODIFIED UNIFIED CLASSIFICATION

SYSTEM FOR SOILS

June 2006

PROJECT: Grasswood Business Center		CLIENT: Christmas Properties Ltd.		TESTHOLE NO: 11-01	
LOCATION: Northing 35235.674 / Easting 8616.604				PROJECT NO.: 6023 9494	
CONTRACTOR: Boss Drilling		METHOD: CME 75 SS Auger		ELEVATION (m): 506.626	
SAMPLE TYPE	<input checked="" type="checkbox"/> GRAB	<input type="checkbox"/> SHELBY TUBE	<input checked="" type="checkbox"/> SPLIT SPOON	<input type="checkbox"/> BULK	<input type="checkbox"/> NO RECOVERY <input checked="" type="checkbox"/> CORE
DEPTH (m)	SOIL SYMBOL	SOIL DESCRIPTION			COMMENTS
0		TOPSOIL CLAY - silty, sandy - brown, dry to moist, stiff - intermediate plasticity			
1		SAND - silty, trace clay - brown, dry to moist - poorly graded, non plastic			
2					
3					
4					
5					
6		END OF HOLE @ 3.5 m - Sloughing was observed after drilling completed. - Backfilled with drill cuttings from 3.5 to 0.6 m, backfilled with bentonite from 0.6 m to surface.			
SAMPLE TYPE	SAMPLE #	SPT (N)			
					
	25		<img alt="SPT test results for sample 25: N=25 at depth 0-0.6m, N=60 at depth 0.6-1.0m, N=60 at depth 1.0-1.4m, N=60 at depth 1.4-1.8m, N=60 at depth 1.8-2.2m, N=60 at depth 2.2-2.6m, N=60 at depth 2.6-3.0m, N=60 at depth 3.0-3.4m, N=60 at depth 3.4-3.8m, N=60 at depth 3.8-4.2m, N=60 at depth 4.2-4.6m, N=60 at depth 4.6-5.0m, N=60 at depth 5.0-5.4m, N=60 at depth 5.4-5.8m, N=60 at depth 5.8-6.2m, N=60 at depth 6.2-6.6m, N=60 at depth 6.6-7.0m, N=60 at depth 7.0-7.4m, N=60 at depth 7.4-7.8m, N=60 at depth 7.8-8.2m, N=60 at depth 8.2-8.6m, N=60 at depth 8.6-9.0m, N=60 at depth 9.0-9.4m, N=60 at depth 9.4-9.8m, N=60 at depth 9.8-10.2m, N=60 at depth 10.2-10.6m, N=60 at depth 10.6-11.0m, N=60 at depth 11.0-11.4m, N=60 at depth 11.4-11.8m, N=60 at depth 11.8-12.2m, N=60 at depth 12.2-12.6m, N=60 at depth 12.6-13.0m, N=60 at depth 13.0-13.4m, N=60 at depth 13.4-13.8m, N=60 at depth 13.8-14.2m, N=60 at depth 14.2-14.6m, N=60 at depth 14.6-15.0m, N=60 at depth 15.0-15.4m, N=60 at depth 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depth 46.2-46.6m, N=60 at depth 46.6-47.0m, N=60 at depth 47.0-47.4m, N=60 at depth 47.4-47.8m, N=60 at depth 47.8-48.2m, N=60 at depth 48.2-48.6m, N=60 at depth 48.6-49.0m, N=60 at depth 49.0-49.4m, N=60 at depth 49.4-49.8m, N=60 at depth 49.8-50.2m, N=60 at depth 50.2-50.6m, N=60 at depth 50.6-51.0m, N=60 at depth 51.0-51.4m, N=60 at depth 51.4-51.8m, N=60 at depth 51.8-52.2m, N=60 at depth 52.2-52.6m, N=60 at depth 52.6-53.0m, N=60 at depth 53.0-53.4m, N=60 at depth 53.4-53.8m, N=60 at depth 53.8-54.2m, N=60 at depth 54.2-54.6m, N=60 at depth 54.6-55.0m, N=60 at depth 55.0-55.4m, N=60 at depth 55.4-55.8m, N=60 at depth 55.8-56.2m, N=60 at depth 56.2-56.6m, N=60 at depth 56.6-57.0m, N=60 at depth 57.0-57.4m, N=60 at depth 57.4-57.8m, N=60 at depth 57.8-58.2m, N=60 at depth 58.2-58.6m, N=60 at depth 58.6-59.0m, N=60 at depth 59.0-59.4m, N=60 at depth 59.4-59.8m, N=60 at depth 59.8-60.2m, N=60 at depth 60.2-60.6m, N=60 at depth 60.6-61.0m, N=60 at depth 61.0-61.4m, N=60 at depth 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at depth 149.8-150.2m, N=60 at depth 150.2-150.6m, N=60 at depth 150.6-151.0m, N=60 at depth 151.0-151.4m, N=60 at depth 151.4-151.8m, N=60 at depth 151.8-152.2m, N=60 at depth 152.2-152.6m, N=60 at depth 152.6-153.0m, N=60 at depth 153.0-153.4m, N=60 at depth 153.4-153.8m, N=60 at depth 153.8-154.2m, N=60 at depth 154.2-154.6m, N=60 at depth 154.6-155.0m, N=60 at depth 155.0-155.4m, N=60 at depth 155.4-155.8m, N=60 at depth 155.8-156.2m, N=60 at depth 156.2-156.6m, N=60 at depth 156.6-157.0m, N=60 at depth 157.0-157.4m, N=60 at depth 157.4-157.8m, N=60 at depth 157.8-158.2m, N=60 at depth 158.2-158.6m, N=60 at depth 158.6-159.0m, N=60 at depth 159.0-159.4m, N=60 at depth 159.4-159.8m, N=60 at depth 159.8-160.2m, N=60 at depth 160.2-160.6m, N=60 at depth 160.6-161.0m, N=60 at depth 161.0-161.4m, N=60 at depth 161.4-161.8m, N=60 at depth 161.8-162.2m, N=60 at depth 162.2-162.6m, N=60 at depth 162.6-163.0m, N=60 at depth 163.0-163.4m, N=60 at depth 163.4-163.8m, N=60 at depth 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PROJECT: Grasswood Business Center		CLIENT: Christmas Properties Ltd.		TESTHOLE NO: 11-02	
LOCATION: Northing 35229.772 / Easting 8513.277				PROJECT NO.: 6023 9494	
CONTRACTOR: Boss Drilling		METHOD: CME 75 SS Auger		ELEVATION (m): 506.653	
SAMPLE TYPE	GRAB	SHELBY TUBE	SPLIT SPOON	BULK	NO RECOVERY CORE
DEPTH (m)	SOIL SYMBOL	SOIL DESCRIPTION	SAMPLE TYPE	SAMPLE #	SPT (N)
0		TOPSOIL SAND - silty, trace clay - brown, dry to moist - poorly graded, non plastic		21	 SPT (Standard Pen Test) (Blows/foot) 20 40 60 80 PLASTIC M.C. LIQUID 20 40 60 80
1				22	25
2		- trace silt below 1.8m		23	
3		CLAY - silty, sandy - brown, dry to moist, stiff - high plasticity		24	9
3.5		END OF HOLE @ 3.5 m - Sloughing was observed at 2.7 m below surface after drilling completed. - Backfilled with drill cuttings from 3.5 to 0.6 m, backfilled with bentonite from 0.6 m to surface.			
4					
5					
6					

LOG OF TESTHOLE A 602239494 GRASSWOOD BUSINESS CENTER, GBP UMA.GDT 17/4/12

AECOM

LOGGED BY: CK

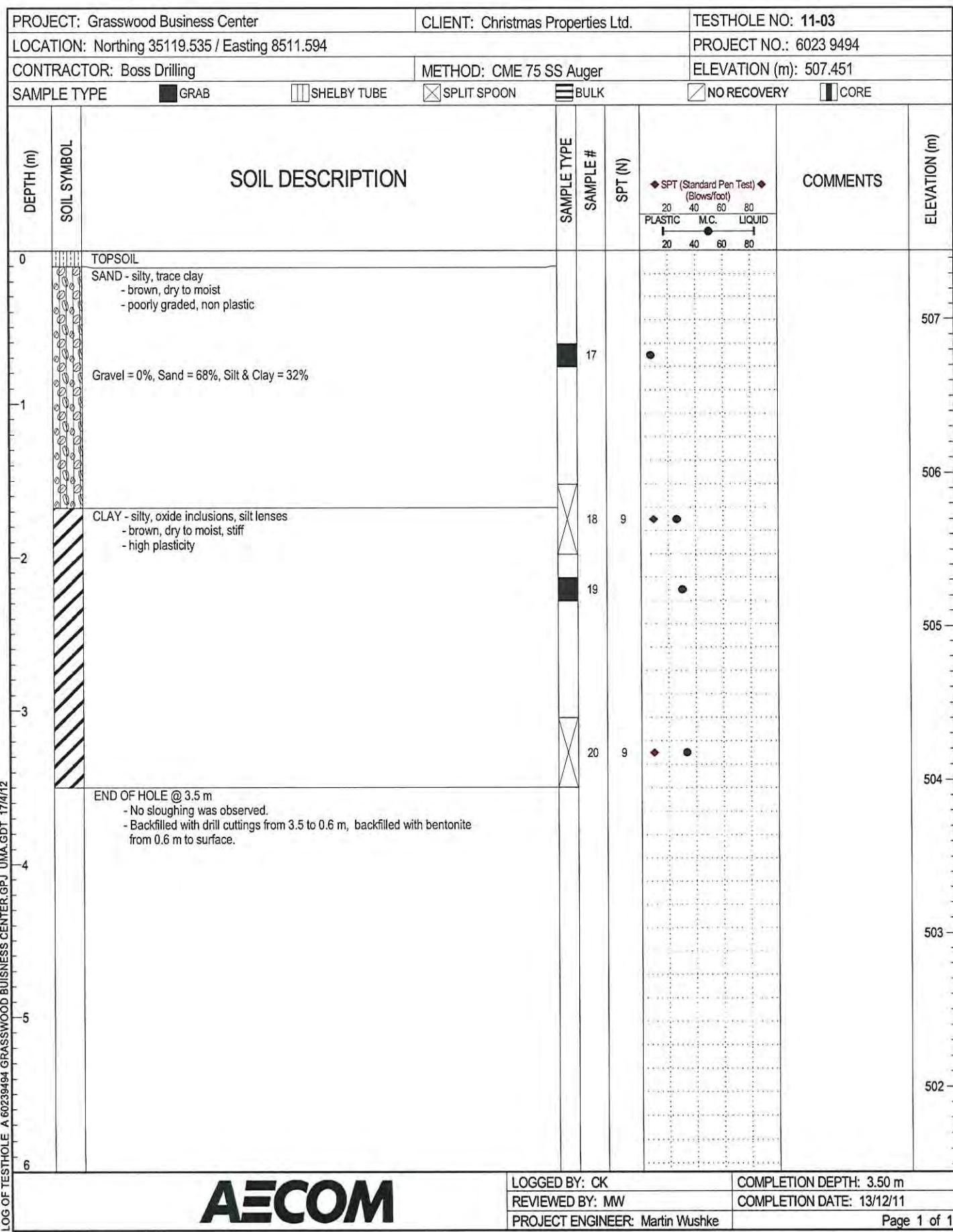
REVIEWED BY: MW

PROJECT ENGINEER: Martin Wushke

COMPLETION DEPTH: 3.50 m

COMPLETION DATE: 13/12/11

Page 1 of 1



PROJECT: Grasswood Business Center		CLIENT: Christmas Properties Ltd.		TESTHOLE NO: 11-04	
LOCATION: Northing 35176.823 / Easting 8569.929				PROJECT NO.: 6023 9494	
CONTRACTOR: Boss Drilling		METHOD: CME 75 SS Auger		ELEVATION (m): 506.526	
SAMPLE TYPE	<input checked="" type="checkbox"/> GRAB <input type="checkbox"/> SHELBY TUBE	<input checked="" type="checkbox"/> SPLIT SPOON	<input checked="" type="checkbox"/> BULK	<input type="checkbox"/> NO RECOVERY	<input type="checkbox"/> CORE
BACKFILL TYPE	<input checked="" type="checkbox"/> BENTONITE	<input type="checkbox"/> GRAVEL	<input type="checkbox"/> SLOUGH	<input checked="" type="checkbox"/> GROUT	<input checked="" type="checkbox"/> CUTTINGS
DEPTH (m)	SLOTTED PIEZOMETER	SOIL SYMBOL			
SOIL DESCRIPTION					
0		TOPSOIL			
0.5		CLAY - silty, sandy - brown, dry to moist, stiff - intermediate plasticity		11	
1.0		SAND - silty, trace clay - brown, dry to moist - poorly graded, non plastic		12	16
1.5		- wet below 1.5 m		13	
2.0				14	9
2.5		CLAY - silty, oxide inclusions - brown, moist, stiff - high plasticity		15	
3.0				16	12
3.6		END OF HOLE @ 5.0 m - Sloughing was observed in sand. - 50mm PVC standpipe installed to 5.0 m. - Backfilled with sand from 3.6 to 1.0 m, with bentonite from 1.0 m to surface.			
5.0					
6.0					
LOG OF TESTHOLE A 60239494 GRASSWOOD BUSINESS CENTER GPJ UMA.GDT 17/4/12		SAMPLE TYPE	SAMPLE #	SPT (N)	COMMENTS
				◆ SPT (Standard Pen Test) ◆ 20 40 60 80	
				PLASTIC M.C. LIQUID 20 40 60 80	
ELEVATION (m)					
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LOG OF TESTHOLE A 60239494 GRASSWOOD BUSINESS CENTER, GPJ UMA.GDT 17/4/12

AECOM

LOGGED BY: CK

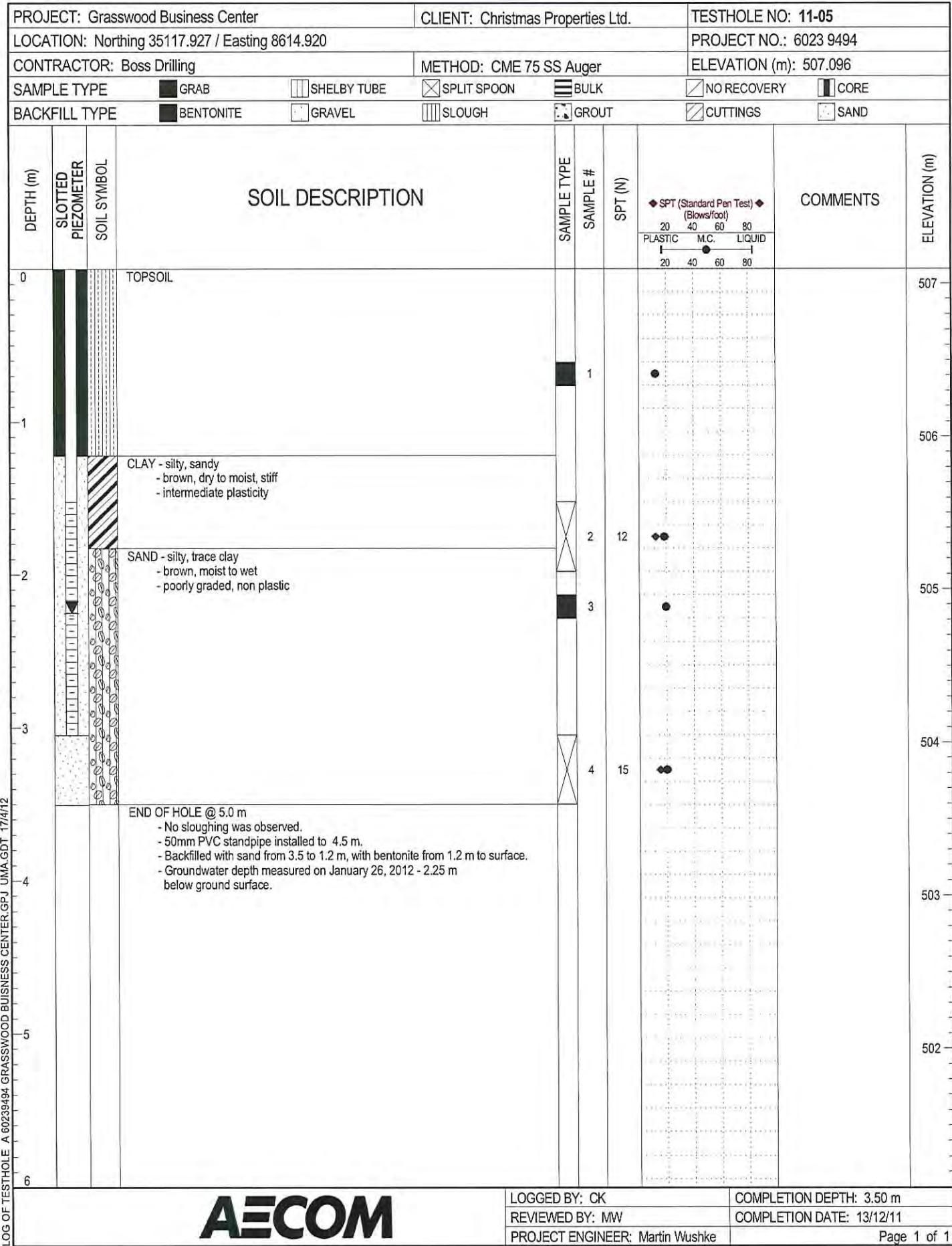
REVIEWED BY: MW

PROJECT ENGINEER: Martin Wushke

COMPLETION DEPTH: 5.00 m

COMPLETION DATE: 13/12/11

Page 1 of 1



AECOM

LOGGED BY: CK

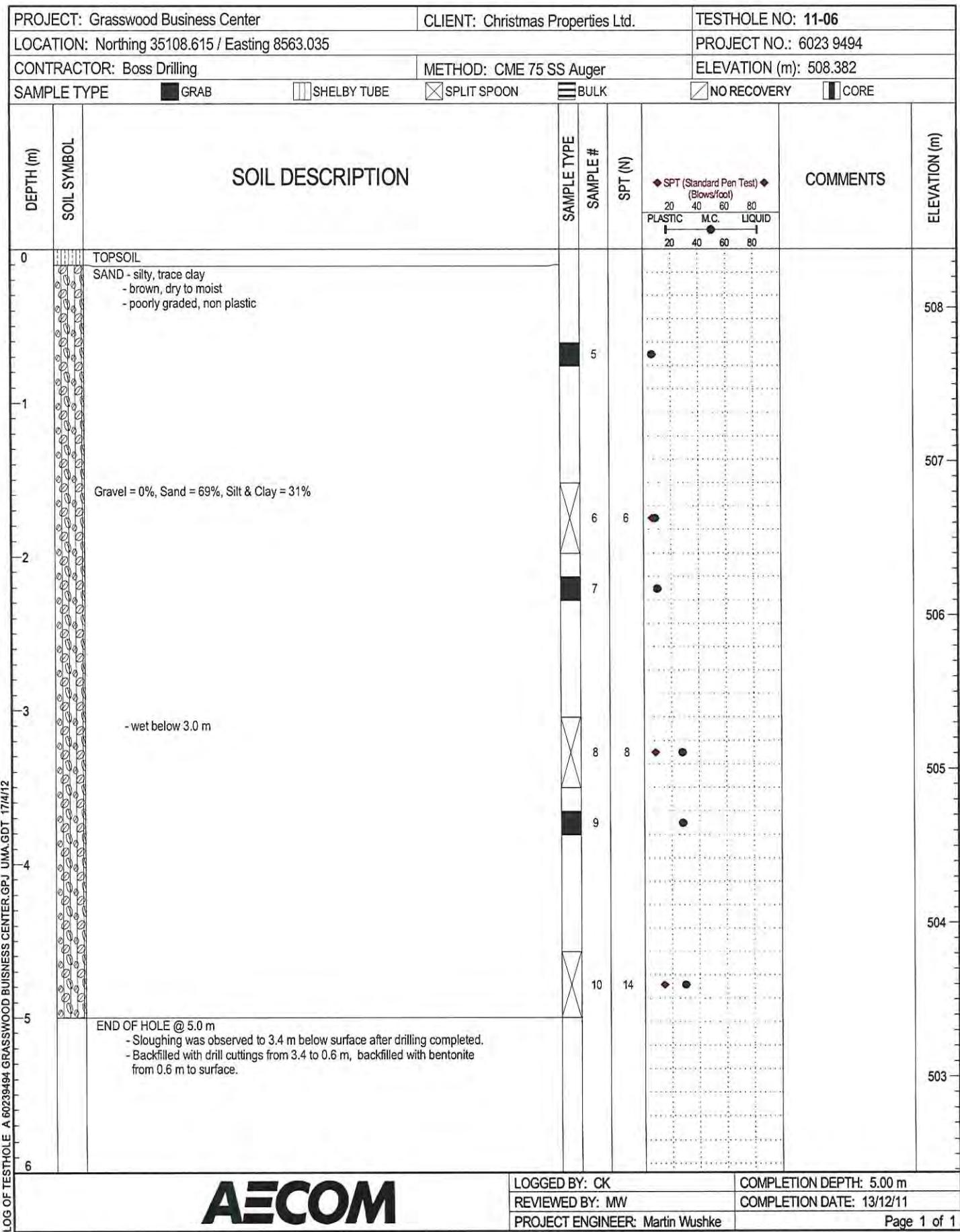
COMPLETION DEPTH: 3.50 m

REVIEWED BY: MW

COMPLETION DATE: 13/12/11

PROJECT ENGINEER: Martin Wushke

Page 1 of 1



AECOM

LOGGED BY: CK

COMPLETION DEPTH: 5.00 m

REVIEWED BY: MW

COMPLETION DATE: 13/12/11

PROJECT ENGINEER: Martin Wushke

Page 1 of 1

Appendix D
Dundurn Rural Water Utility Correspondence

Bourassa, Alexis

From: Tristan Ziegler [tristanziegler@salengineering.ca]
Sent: Wednesday, January 25, 2012 3:55 PM
To: Bourassa, Alexis
Cc: Don Poon; Shelly Simons
Subject: RE: Grasswood Business Centre
Attachments: DRWU-Grasswood Business Centre-Water Location.pdf; AVG certification.txt

Alexis,

Please find attached a .pdf drawing showing the approximate existing DRWU waterline location in the Grasswoods Business Centre area. The DRWU supply line at this location is 200 mm HDPE. The size of the service lines supplying the Grasswood Business Centre would be dependent on the final details of the connections. The standard connection is for 0.5 imperial gallons per minute (720 imperial gallons per day).

Regards,

Tristan

From: Bourassa, Alexis [<mailto:Alexis.Bourassa@aecom.com>]
Sent: January 25, 2012 2:51 PM
To: Tristan Ziegler
Cc: Don Poon; Shelly Simons
Subject: Grasswood Business Centre

Hi Tristan,

I am putting together a preliminary draft of our servicing report for our client. I was wondering if you could give me a few details regarding the Dundurn Rural Water Utility line. Could you tell me the diameter of the line? Is there a drawing showing the water line location that is available to the public? Also, the standard connection is 720 g/day, correct? I'm assuming that is Canadian gallons.

Thank you,

Alexis Bourassa, P.Eng.

Civil Engineer, Land Development, Water

D 306.657.8875

alexis.bourassa@aecom.com

AECOM

200-2100 8th St. E.

Saskatoon, SK, S7H 0V1

T 306.955.3300 F 306.955.0044

www.aecom.com

CENTRELINE OF HIGHWAY NO. 219

EAST ROAD ALLOWANCE



PARCEL B-SW04-36-05-W3M

200mm \varnothing HDPE SERIES 896 WATERLINE

5.0 m

NORTH ROAD ALLOWANCE

CENTRELINE OF GRASSWOOD ROAD

SOUTH ROAD ALLOWANCE

PARCEL M-NW33-35-05-W3M

Appendix E
Saskatchewan Watershed Authority Correspondence

Bourassa, Alexis

From: Ron Crush [Ron.Crush@swa.ca]
Sent: Monday, January 23, 2012 1:05 PM
To: Bourassa, Alexis
Subject: RE: Grasswood Business Centre - Drainage
Attachments: RG-108.pdf; FS-314.pdf; RG-103.pdf

Follow Up Flag: Follow up
Flag Status: Completed

Alexis

Thank you for your inquiry, from a regulatory point of view site development complimenting the existing natural drainage pattern would not require an approval under our legislation. Should development proceed with the diversion along the west and north ditches an approval would be required and The Authority would need to understand the amount to be diverted and its impact downstream, land control would be a requirement under this option for any lands affected by the diversion.

I am including our information and application should the diversion along the ditches be pursued.

Ron

From: Bourassa, Alexis [mailto:Alexis.Bourassa@aecom.com]
Sent: January 18, 2012 4:03 PM
To: Ron Crush
Cc: Shafi, Qasim
Subject: Grasswood Business Centre - Drainage

Hello Ron,

AECOM is working on the preliminary design of the civil site services for the Grasswood Business Centre. This site is located in the R.M. of Corman Park (NW 33-35-05 W3M) and is approximately 1.86 ha. I have attached the proposed site plan.

The site drains to the southeast into a neighbouring farm yard and a pasture. Considering the size of the parcel to be developed in comparison to the whole catchment area, the additional runoff would be very small. We were considering diverting the runoff to the ditches along Highway 219 and Grasswood Road at the west and north sides of the property, respectively. Is this acceptable? Or, can we continue to drain it to the southeast?

Your time and consideration of the project is greatly appreciated. If you require further information or if you have any questions, please contact me.

Thank you,

Alexis Bourassa, P.Eng.

Civil Engineer, Land Development, Water

D 306.657.8875

alexis.bourassa@aecom.com

AECOM

200-2100 8th St. E.

Saskatoon, SK, S7H 0V1

T 306.955.3300 F 306.955.0044

www.aecom.com

<<Site Plan - Grasswood Business Center.pdf>>

Appendix F
Saskatoon Fire and Protective Services Correspondence

Bourassa, Alexis

From: Rumpel, Dave (Fire) [Dave.Rumpel@Saskatoon.ca]
Sent: Monday, January 30, 2012 11:39 AM
To: Bourassa, Alexis
Subject: FW: Grasswood Business Centre - Fire Protection

Follow Up Flag: Follow up
Flag Status: Completed

In reply to your request:

For a structure fire at this location we would respond with the following apparatus, as per our service agreement with Corman Park.

E-3 from #3 station Taylor St. & York Ave. 500 gallon (2250 L) tank, 6005 Lpm
E-10 from #1 station 125 Idylwyld Dr. S. 500 gallon (2250 L) tank, 6005 Lpm
T-23 Bush & Grass Truck # 5 station 421 Central Ave. 250 gallon tank
T-24 Tanker # 5 station 421 Central Ave. 3000 Us gal (11350 L) 500 us gpm (1900 Lpm)
Car 53 – Battalion Chief (command)

Minimum staff of 13

We do not depend on an onsite water supply. I hope this answers the questions to your inquiry.

Dave Rumpel
Deputy Chief
Saskatoon Fire and Protective Services
work - 306.975.2520
cell - 306-291-4915
email: Dave.Rumpel@saskatoon.ca

From: Bourassa, Alexis [<mailto:Alexis.Bourassa@aecom.com>]
Sent: January 25, 2012 2:35 PM
To: Web E-mail - Fire and Protective Services
Cc: Shafi, Qasim
Subject: Grasswood Business Centre - Fire Protection

Hello,

AECOM is working on the preliminary design of the civil site services for the Grasswood Business Centre, located on the southeast corner of Grasswood Road and Highway 219. We are presently determining how to provide fire protection to this site as the potable water line will be insufficient.

If there was a fire at this site, would the Saskatoon Fire Fighters send out a “regular” truck or one with a water tank? If it had a water tank, what volume would it hold? What flow and pressure would the truck be able to supply?

These details are very important to the design of the site's fire protection system. Your time and consideration is greatly appreciated!

Sincerely,

Alexis Bourassa, P.Eng.

Civil Engineer, Land Development, Water

D 306.657.8875

alexis.bourassa@aecom.com

AECOM

200-2100 8th St. E.

Saskatoon, SK, S7H 0V1

T 306.955.3300 F 306.955.0044

www.aecom.com

Appendix G
Heritage Conservation Branch and Ministry of Environment
Correspondence



TOURISM, PARKS, CULTURE AND SPORT

ABOUT TOURISM, PARKS, CULTURE AND SPORT

Inquiry was made on January 6, 2012 at 1:20 PM

You are inquiring about the heritage sensitivity of the following land location:

Quarter-section:

NW

Section:

33

Township:

35

Range:

05

Meridian:

3

This quarter-section is **NOT** heritage sensitive.

It is not necessary to submit the project to the Heritage Conservation Branch for screening. These results can be printed for submission to other regulatory bodies (e.g. Saskatchewan Environment, Saskatchewan Industry and Resources). Please email arms@gov.sk.ca if you have any questions.

Inquiry was made on January 6, 2012 at 1:20 PM

[Home](#) / [About TPCS](#) / [Heritage](#) / [Developers' Online Screening Tool](#) / [Land Locations Search](#)

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Bourassa, Alexis

From: Schmidt, Andrea ENV [andrea.schmidt@gov.sk.ca]
Sent: Monday, December 05, 2011 2:01 PM
To: Bourassa, Alexis
Cc: Evans, Ryan ENV; Hordenchuk, Sharla ENV
Subject: RE: Contact Form Submission - www.environment.gov.sk.ca - Requirements for Land Development
Attachments: The Environmental Assessment Act.pdf

Alexis,

The criteria we use to determine if an Environmental Impact Assessment (EIA) is required for a project is section 2 (d) of The Environmental Assessment Act (attached). The project does not have to be a certain 'size' to be considered a development and as such, require an EIA but must trigger one or more of the 2(d) criteria (below). The best place to start is with Municipal Branch as they may have procedures in place to regulate your type of project. I forgot to include Ryan Evans' contact information in the previous email. His phone number is (306) 787-1016. Thanks.

In the Act:

(d) "development" means any project, operation or activity or any alteration or expansion of any project, operation or activity which is likely to:

- (i) have an affect on any unique, rare or endangered feature of the environment;
- (ii) substantially utilize any provincial resource and in so doing pre-empt the use, or potential use, of that resource for any other purpose;
- (iii) cause the emission of any pollutants or create by-products, residual or waste products which require handling and disposal in a manner that is not regulated by any other Act or regulation;
- (iv) cause widespread public concern because of potential environmental changes;
- (v) involve a new technology that is concerned with resource utilization and that may induce significant environmental change; or
- (vi) have a significant impact on the environment or necessitate a further development which is likely to have a significant impact on the environment;

Andrea Schmidt
Program Development Specialist
Environmental Assessment Branch
Saskatchewan Ministry of Environment
4th Floor, 3211 Albert Street
Regina, SK S4S 5W6
Phone: 306-787-0783
Fax: 306-787-0930

□□please consider the environment before printing this email

-----Original Message-----

From: Bourassa, Alexis [mailto:Alexis.Bourassa@aecom.com]
Sent: Monday, December 05, 2011 1:43 PM
To: Schmidt, Andrea ENV
Subject: RE: Contact Form Submission - www.environment.gov.sk.ca - Requirements for Land Development

Thank you, Andrea!

What is the criteria you use to determine if an environmental assessment is required for a project? Does the development have to be a certain size? If this site required connecting to a water main that was 1 km away, would we have to prepare an environmental assessment for the water line route?

-----Original Message-----

From: Schmidt, Andrea ENV [mailto:andrea.schmidt@gov.sk.ca]
Sent: Monday, December 05, 2011 1:26 PM
To: Bourassa, Alexis
Cc: Hordenchuk, Sharla ENV; Inquiry, Centre ENV; Evans, Ryan ENV
Subject: RE: Contact Form Submission - www.environment.gov.sk.ca - Requirements for Land Development

Good Afternoon Alexis,

Thank you for your inquiry regarding the requirements for land development in the RM of Corman Park. As indicated in our telephone conversation, Environmental Assessment Branch would not likely be the best first point of contact for a proposed business centre in the RM. For a project such the described office buildings and associated drainage, sewer and water use facilities, you would be best to contact the Ministry of Environment's Municipal Branch. I have provided your contact information to Ryan Evans, a Senior Approvals Engineer with the Municipal Branch and he will be able to better answer any questions you may have. As I said, if you require any assistance with the Environmental Assessment Branch website in the future, I will be happy to assist you. Thank you.

Kind regards,

Andrea Schmidt
Program Development Specialist
Environmental Assessment Branch
Saskatchewan Ministry of Environment
4th Floor, 3211 Albert Street
Regina, SK S4S 5W6
Phone: 306-787-0783
Fax: 306-787-0930

Please consider the environment before printing this email -----Original Message-----

From: Hordenchuk, Sharla ENV
Sent: Monday, December 05, 2011 8:22 AM
To: Schmidt, Andrea ENV
Subject: FW: Contact Form Submission - www.environment.gov.sk.ca - Requirements for Land Development

Hi Andrea,

Please contact the individual below regarding this inquiry. In your email response, please cc myself and the Inquiry Center. Thanks.

Sharla
787.6171

-----Original Message-----

From: Inquiry, Centre ENV
Sent: Monday, December 05, 2011 8:16 AM
To: Hordenchuk, Sharla ENV
Subject: FW: Contact Form Submission - www.environment.gov.sk.ca - Requirements for Land Development

Can you please provide response to this e-mail inquiry as soon as possible. Also, could you please cc the Inquiry line with your response so we are able to close our files.

Thank you.
Ministry of Environment
Inquiry Centre

-----Original Message-----

From: Alexis Bourassa [mailto:alexis.bourassa@aecom.com]
Sent: December 1, 2011 3:11 PM
To: Inquiry, Centre ENV
Subject: Contact Form Submission - www.environment.gov.sk.ca - Requirements for Land Development

Name: Alexis Bourassa

Email Address: alexis.bourassa@aecom.com

Address:

City: Saskatoon

Province: SK

Country:

Postal Code:

Telephone: 306-657-8875

Referring Page: <http://www.environment.gov.sk.ca/>

IP: 10.204.30.50

Sent: Thu Dec 1/2011 3:11 PM

Subject: Requirements for Land Development

Message: Hello,

AECOM is providing civil site services for a proposed business centre located in the R.M. of Corman Park. In the past I have worked on projects located in Saskatoon. I would like to know what forms and/or reports are required by Saskatchewan Environment to proceed with this project. Are there guidelines for the required reports? Can all of this information be obtained on the website? I tried to view a document on an environmental assessment, but it said the file had been moved. I appreciate your time and assistance with this project.

Thank you,

Alexis Bourassa, P.Eng.

AECOM

Appendix H
Loraas Disposal Service Correspondence

Lee Smith

From: Jason Reeder [sales3@loraas.ca]
Sent: August 21, 2012 9:43 AM
To: Jim Walters
Subject: Grasswood and Highway 219 Development

Good morning,

I was speaking to Nick about the development on the corner of Grasswood Road and Highway 219. Loraas Disposal is a local waste and recycling company that is based out of Saskatoon. We offer excellent service for both waste and recycling to Saskatoon and surrounding area with the added benefit that we also own our own single stream recycling facility, as well as our own landfill. Our landfill is located on Highway 12 North and is a provincially licensed landfill. We will gladly offer any disposal services that is required for the development project currently underway.

If you have any questions, please feel free to contact me.

Jason Reeder
Sales Representative

Loraas Disposal Service

805 47th St E

Saskatoon, SK.

S7K 8G7

Ph: (306) 242-2300

Fx: (306) 242-4994

Email: sales3@loraas.ca



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Appendix I
Envirotec Services Correspondence

Lee Smith

From: Ezra Bellegarde [ebellegarde@envirotec.ca]
Sent: January 2, 2013 2:25 PM
To: Jim Walters
Subject: RE: Grasswood and Highway 219 Development

Good Afternoon Jim,

Envirotec Services would be delighted to provide the sewage collection and disposal services for this development. Please feel free to contact me direct should you require any more information on Service Schedules or Pricing.

Regards,

Ezra Bellegarde | Vacuum Truck and Industrial Services Coordinator

Envirotec Services Incorporated

P.O. Box 25055, 100 Cory Road, Saskatoon, Saskatchewan S7K 8B7
P.O. Box 27063, 1910 Winnipeg Street, Regina, Saskatchewan S4R 0J0

Toll-Free: 877.244.9500 Local: T. 306.244.9500 F. 306.244.9501

www.envirotec.ca

Celebrating Over 20 Years of Business Excellence

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From: Jim Walters [mailto:jwalters@crosbyhanna.ca]

Sent: January 2, 2013 2:14 PM

To: Ezra Bellegarde

Subject: Grasswood and Highway 219 Development

Hi Ezra, we are acting on behalf of a developer in the RM of Corman Park (Christmas Properties Ltd). The project is a 6 lot commercial development at the corner of Grasswood Road and Highway #219. The RM of Corman Park requires developers to be able to demonstrate in writing that a company is willing and able to handle sewage collection. The proposed method of sewage collection in this case will be septic tanks.

Would the developer be able to contract Envirotec to handle sewage collection and disposal?

Please let me know if you have any questions. The development still needs to be approved before anything formal needs to be arranged.

Jim Walters, P.P.S., M.C.I.P.

Crosby Hanna & Associates
Phone: 306.665.3441
Fax: 306.652.9613
Email: jwalters@crosbyhanna.ca

From: Jason Reeder [sales3@loraas.ca]
Sent: October-10-12 3:45 PM
To: Jim Walters
Subject: RE: Grasswood and Highway 219 Development

Hi Jim,

Envirotec is owned by one of the Loraas brothers and is a separate company from Loraas Disposal. The contact there is Ezra Bellgarde. You can contact him at (306) 244-9500 or via email at ebellgarde@envirotec.ca. Do you happen to know when construction is to begin at Grasswood and Hwy 219? Also, I was just wondering as to which side of Grasswood Rd and Hwy 219 the development was going to take place?

Thanks,

Jason Reeder
Sales Representative

Loraas Disposal Service
805 47th St E
Saskatoon, SK.
S7K 8G7
Ph: (306) 242-2300
Fx: (306) 242-4994
Email: sales3@loraas.ca



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From: Jim Walters [jwalters@crosbyhanna.ca]
Sent: Wednesday, October 10, 2012 10:47 AM
To: Jason Reeder
Subject: RE: Grasswood and Highway 219 Development

Hi Jason, Nick asked me to also check with Envirotec along the same lines as to whether they would be able to handle sewage collection. He thought that Loraas owned the company. If this is the case, can you let me know who to contact there?

Jim Walters, P.P.S., M.C.I.P.
Crosby Hanna & Associates
Phone: 306.665.3441
Fax: 306.652.9613
Email: jwalters@crosbyhanna.ca

From: Jason Reeder [\[mailto:sales3@loraas.ca\]](mailto:sales3@loraas.ca)
Sent: August-21-12 9:43 AM
To: Jim Walters
Subject: Grasswood and Highway 219 Development

Good morning,

I was speaking to Nick about the development on the corner of Grasswood Road and Highway 219. Loraas Disposal is a local waste and recycling company that is based out of Saskatoon. We offer excellent service for both waste and recycling to Saskatoon and surrounding area with the added benefit that we also own our own single stream recycling facility, as well as our own landfill. Our landfill is located on Highway 12 North and is a provincially licensed landfill. We will gladly offer any disposal services that is required for the development project currently underway.

If you have any questions, please feel free to contact me.

Jason Reeder
Sales Representative

Loraas Disposal Service
805 47th St E
Saskatoon, SK.
S7K 8G7
Ph: (306) 242-2300
Fx: (306) 242-4994
Email: sales3@loraas.ca



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Appendix J
Public Consultation

ZONING DC2—Rural Convenience Commercial District (existing zoning)

Purpose or intent: permit commercial uses which serve the daily convenience needs of the residents of a rural neighbourhood, and are complementary to adjacent residential land uses.

Permitted Uses:

Automotive, equipment and vehicle service (limited to automobile repairs and vehicle service); Convenience commercial services; and Public utility or municipal facilities.

DC2—Rural Convenience Commercial District

Site Development Standards

Land Use	Min. Site Are	Max. Site Area	Front Yard Set-back	Side Yard Setback	Rear Yard Setback	Flanking Yard Setback	Minimum Frontage
Public Utilities, Municipal Facilities	None	None	None	None	None	None	None
All other uses	1 ha (2.47 acres)	None	45 m (147.6 ft)	6 m (19.7 ft)	6 m (19.7 ft)	21 m (68.9 ft)	30 m (98.4 ft)

Uses in the DC1 and DC2 Districts must comply with the Commercial and Industrial Landscaping Requirements that are provided in the Corman Park—Saskatoon Planning District Zoning Bylaw.

All other development standards, including prohibited uses, are the same between the DC1 and DC2 Districts, apart from signage, where additional standards have been established for “Large Scale Commercial Establishments” in the DC1—Arterial Commercial District.

ZONING DC1—Arterial Commercial 1 District (proposed zoning)

Purpose or intent: facilitate a diverse range of commercial activities serving the traveling public and the local populations, displaying a high standard of appearance and focused at points of intersection with primary municipal roadways, provincial highways and the perimeter highway.

Permitted Uses:

- Accommodation service (no bed & breakfasts)
- Amusement and entertainment service
- Animal health care facility
- Auction facility (no storage or sales of livestock)
- Automotive, equipment and vehicle service
- Commercial storage centre
- Community care facility
- Food service use
- Internment service
- Public market
- Public utility or municipal facilities
- Retail store

Discretionary Uses:

- Agricultural support service (no distribution, storage, or wholesaling of live stock)
- Commercial complex
- Commercial recreation
- Local waste management and remediation industry (limited to recycling depot or type 1 clean fill operation)
- Telecommunications facility
- Warehousing
- Warehouse sales
- Wholesale trade

DC1—Arterial Commercial District

Site Development Standards

Land Use	Min. Site Are	Max. Site Area	Front Yard Set-back	Side Yard Setback	Rear Yard Setback	Flanking Yard Setback	Minimum Frontage
Public Utilities, Municipal Facilities, Telecommunication Facility	None	None	None	None	None	None	None
All other uses	0.2 ha (0.5 acres)	None	45 m (147.6 ft)	8 m (26.2 ft)	8 m (26.3 ft)	21 m (68.9 ft)	30 m (98.4 ft)

GRASSWOOD BUSINESS CENTRE PUBLIC OPEN HOUSE SIGN-IN SHEET

NAME:

Tim Britton
J. Lane
Antonette Danbo
Tina + Keith Norton
Patrick + Angela Jamieson

ADDRESS:

Parklands Rd.
Parklands Rd
219 x Grasswood Rd
4777 Lorne Ave
4847. Lorne Ave.
530 Hill St.
Planner - Corman Park

Jim Walters

From: Jim Walters
Sent: June-05-12 9:33 AM
To: Chad Watson
Subject: FW: Grasswood Business Centre

Jim Walters, P.P.S., M.C.I.P.
Crosby Hanna & Associates
Phone: 306.665.3441
Fax: 306.652.9613
Email: jwalters@crosbyhanna.ca

From: Greg Chomica [<mailto:gcchomica@sasktel.net>]

Sent: June-02-12 10:04 AM

To: Jim Walters

Subject: Re: Grasswood Business Centre

Thanks for the reply and the attachment Jim. I think the information in that attachment should satisfy Antoinette's questions but if we come up with any more, I'll be sure to contact you.

Once again.....thanks.

Greg

----- Original Message -----

From: Jim Walters

To: Greg Chomica

Sent: Friday, June 01, 2012 2:52 PM

Subject: RE: Grasswood Business Centre

Hi Greg, the proposal is to rezone the land from DC2 Rural Convenience Commercial to DC1 Arterial Commercial. A concept plan was drawn up by another firm illustrating a number of buildings on a single site. This drawing should be considered an illustration only and the actual layout for the development will depend on who is interested in setting up a business on the property. The most important thing to note in terms of possible impact on surrounding properties will be the change in possible uses between the DC2 (existing zoning) and DC1 (desired zoning). I have attached a sheet that outlines the differences. I hope this helps. Please let me know if you have further questions or comments.

Jim Walters, P.P.S., M.C.I.P.
Crosby Hanna & Associates
Phone: 306.665.3441
Fax: 306.652.9613
Email: jwalters@crosbyhanna.ca

From: Greg Chomica [<mailto:gcchomica@sasktel.net>]

Sent: May-30-12 4:04 PM

To: Jim Walters

Subject: Grasswood Business Centre

Good Afternoon,

My mother in law owns the property directly north (across Grasswood Road) from your proposed development. She was at your open house May 22 but didn't understand what exactly your proposed development entailed. Can you enlighten me please and I will pass that information on to her.

My name is Greg Chomica.....acting on behalf of Antoinette Danko.

Thank you in advance,

Greg Chomica
gccccchomica@sasktel.net
384-5212
280-3051
651-3297

No virus found in this message.

Checked by AVG - www.avg.com

Version: 2012.0.2178 / Virus Database: 2425/5040 - Release Date: 06/02/12

May 22, 2012

To All Concerned,

About ten years ago we bought my parent's home and moved to Grasswood. The morning after our first sleep here I woke up early and walked around the yard and instantly felt I was right where I belonged. I have said a number of times that the only way I'll leave here is in a box - or by force; willingly leaving this spot has never felt like an option. Our friends often asked if I minded being so far out of town and away from the "city" conveniences and I would jokingly say, "We're not far enough!" I have, on more than one occasion, spoken to friends about how we have the best of both worlds by living here: Country life with all the conveniences of the city minutes away. With the new growth in Stonebridge the city conveniences are even closer - I no longer have to cross Circle Drive to get almost anything I might need. In fact, city conveniences and shopping are now within walking distance.

When the Dakota Dunes Casino was built and highway 219 was rebuilt a little bit of our country life was taken away from us and we had no say in this. Instead of looking out our front windows at amazing sunsets we look out at a road that has been raised 15-20 feet and it is a busy road. The corner at Grasswood Road and Lorne Avenue is DANGEROUS. I cannot count the number of times I have attempted to turn into my driveway and been passed on both my left and right side. We have had company come in and tell us they felt they were almost killed trying to turn into our driveway. An extension of the right lane will NOT solve this problem it will only encourage drivers to go faster if they pay attention to the lanes at all. My concerns in having a commercial development at the corner is the increase in traffic volume and cars turning in and out of it on either road. With more residential properties expected to be developed in and around Grasswood there will be a substantial increase in traffic and more headaches without the added congestion of commercial properties.

My husband has voiced concerns about property value and how unappealing it would be to have a commercial eyesore beside our home. Even though we have a huge, well-treed lot it is no longer country living beside a strip mall. That is definitely not why we moved out here. I support growth in this area, however I only support residential growth. The property zoned as it was with the previous owner was delightful for my parents to live beside - it fit in this community. It was of no concern to us when we purchased this property because it complimented the neighborhood. Willow Ridge Stables, Sandcastle Farms, and Grasswood Arena, Buena Vista Kennels, all commercial type properties are an asset to this community without being overbuilt eyesores and troublesome to the flow of traffic.

When we look further at Shroh Arena, the Grasswood Business Center (where there is apparently commercial land still available for development), and Jemini Arena, we see very unattractive busy properties that have an advantage of not bordering residential properties at the present moment.

Last but not least in this matter is my concern about controls. **IF** this project is to proceed do we have a guarantee that it will proceed without deviation from the approved plan? We have watched yards and yards of dirt hauled in without a

permit and we are frightened about the impact it will have on our land. We witnessed more dirt being hauled in after the landowners were told not to bring in more until permits were in place. The rebuilding of the highway has had a major impact on where water sits on our land and there was nothing we could do about it. Water sits in low spots and with this dirt in place our lot is getting lower and lower. What is our recourse if the zoning is changed for a certain type of business to proceed and it becomes different or expanded in the future? Are there controls in place to have this project fit into the modest beautiful community that Grasswood is at this point or will this be an eyesore at the corner?

With the suggestion of this development I am feeling somewhat backed into a corner and one could say forced into making decisions about where I want my home to be. I love what I have here, but I absolutely 100% moved here to live in the country - not beside a commercial development.

Matina Morton
4777 Lorne Ave.
Grasswood, Saskatchewan

May 22,2012

To The R.M. of Corman Park and Christmas Properties

I want to write a short note about the proposed zoning changes for the property at the corner of Lorne Avenue and Grasswood Road purchased recently by Christmas Properties (Nick, Mike, and George Katsiris) formerly owned by Tony Wink. Because we are the only property bordering this land we are perhaps most affected by the proposed changes.

Saskatoon is growing and change happens, however, it is our goal having been here for 10 years prior to the proposed changes to protect our home and investment and reduce the impact of any changes.

We respect the fact that Nick, Mike, and George are hoping to develop the corner and have a profitable investment. In the city any housing that backs onto a mall, industrial area, or commercial development is less desirable and commands a lower price. Any housing that backs onto green space is considered more desirable and commands a higher price. A good example of this is the \$200,000 plus price tag on new lots in Evergreen. If this project moves forward our lot will be adjacent to the development and reduce the desirability our location. Mr. Nick Katsiris has suggested that the development will have a negative impact on our property value.

If I was to visualize the proposed strip mall from my house and I didn't have any trees to block the view I would see a raised piece of dirt – about 50,000 yards. If I was in the city and raised my lot height 5 feet higher than the neighbors someone would complain. The contour of the land is a gentle gradual slope from Grasswood Road down to our yard, now the drop off is abrupt. Between the highway being raised and the new dirt at the corner I feel like we are sinking.

I am concerned about where sewage and gray water will go, and about traffic, garbage, and noise. Both Mike and Nick have said they wouldn't move back to the city, as they want the space and privacy that acreage gives. I didn't move to the country to live next to a mall.

I have talked to two real estate agents, a lawyer, and a Saskatoon businessman to ask them what they would do. Three of them said to ask Corman Park for Arterial Commercial zoning for our place.

Keith Morton
4777 Lorne Ave.
Grasswood, Saskatchewan



June 25, 2014

To: Whom it May Concern,

Christmas Properties is proposing to develop a Business Centre on the following land in the R.M. of Corman Park:

- A portion of the NW ¼ Section 33-35-5-W3M (Parcel M, Plan 62S02942), located at the corner of Highway #219 and Grasswood road. We have included a map showing the location of the proposed development.

“Grasswood Business Centre” is proposed to consist of 9 acres of DC1 – Arterial Commercial land. Current zoning for the property is DC2 – Rural Convenience Commercial.

In consultation with R.M. Council and Administration, the proposed development has been re-designed to reduce the total number of lots from six (6) to four (4). Additionally, the developer was required to have an engineer undertake a drainage study as a part of this development. The resulting drainage plan been engineered so that there will be no adverse impacts on neighbouring properties. The proposed development has also been modified to include ***only the following uses*** as described below:

Permitted Uses:

- Animal health care facility
- Automotive, equipment and vehicle service
- Food service use
- Public market
- Public utility or municipal facilities
- Retail store
- Convenience commercial service

Discretionary Uses:

- Commercial recreation
- Telecommunications facility
- Warehouse sales

The proposal has been modified with the intent of removing uses that were thought to have a higher potential to conflict with neighbouring residential development. As such, the following permitted uses were ***removed*** from the original proposal:

- Accommodation service
- Amusement and entertainment service
- Auction facility
- Commercial storage centre
- Internment service

The following discretionary uses were ***removed*** from the original proposal:

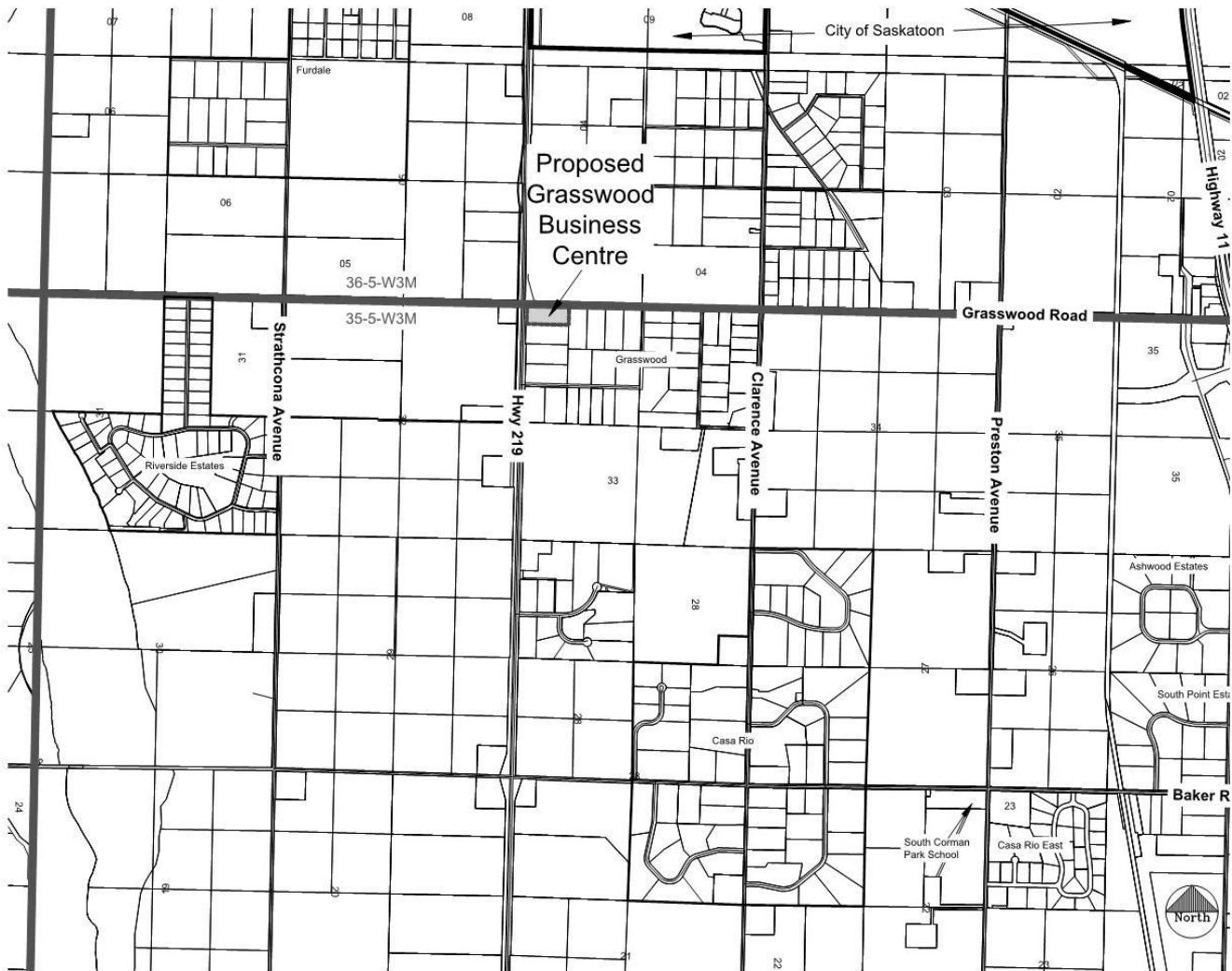
- Agricultural support service
- Commercial complex

Christmas Properties

June 24, 2014

Page 2

- Local waste management and remediation industry
 - Warehousing
 - Wholesale trade.



Should you have any questions or wish to make comments regarding this proposed development, please call Jim Walters or Leanne DeLong at Crosby Hanna & Associates at 306-665-3441. Alternatively, you can email Jim at jwalters@crosbyhanna.ca or Leanne at ldejong@crosbyhanna.ca. Please provide your comments by July 11, 2014.

Sincerely,

J. Walker

Jim Walters, RPP MCIP
Crosby Hanna & Associates

General Notes

Revision

Date



KATSIRIS DEVELOPMENT

Project Title

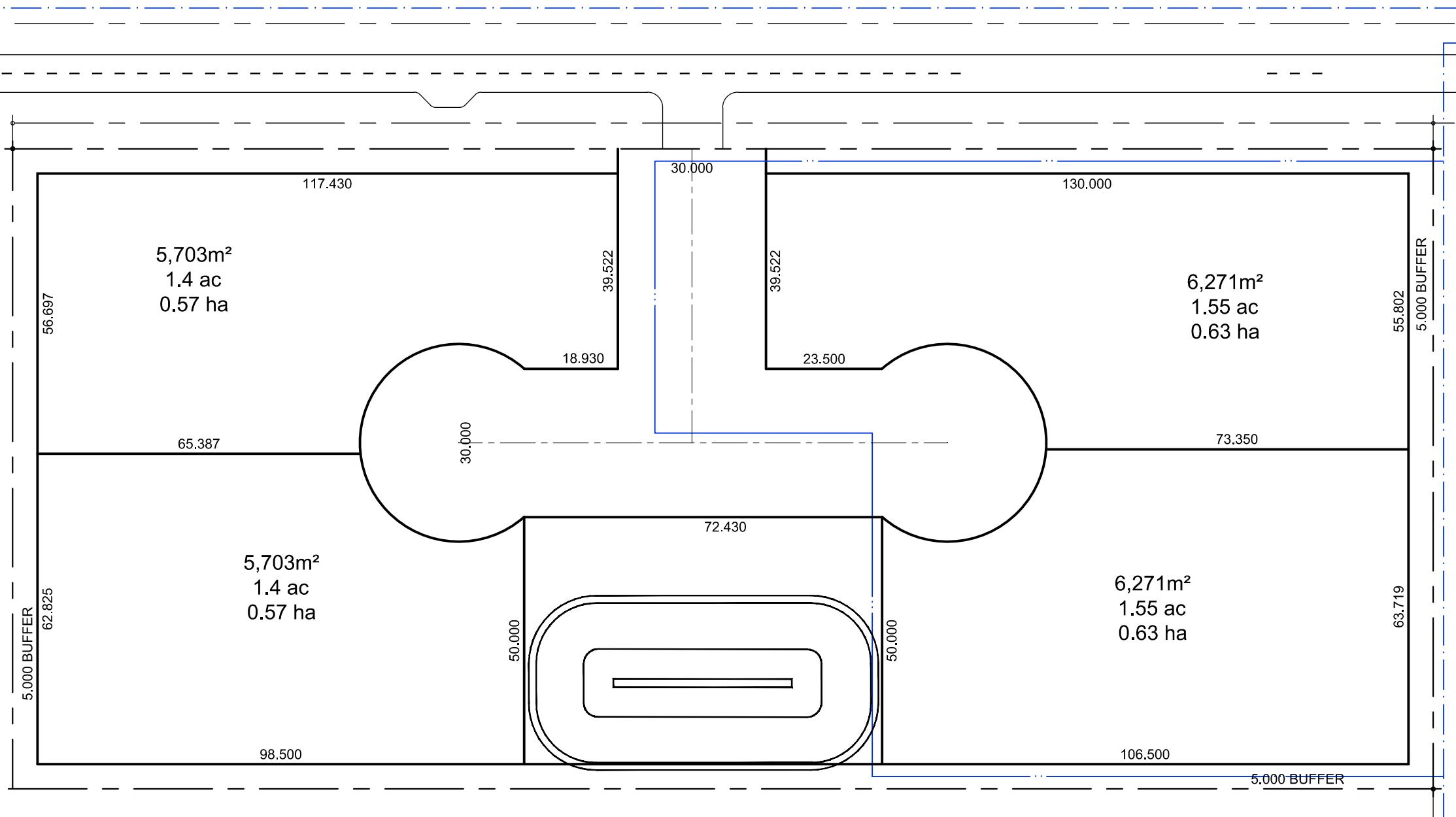
LAYOUT

Drawing Title

Drawn TB Checked WH

Scale 1:1000 Date 2014/05/05

Project No. 12-036 Drawing L-1



In June 2014, a letter was sent to property owners located in proximity to the proposed Christmas Properties Business Centre. Generally speaking, response to the development was negative, particularly regarding drainage (existing and future), a change in the character of the area, increased traffic, pollution (light and garbage), noise, excess signage, a decrease in residents quality of life, decreasing property values, concern over maintenance and design/location of the drainage pond, concern about the types of businesses that will potentially be located on the site, and concern over potentially affecting the local wildlife. The following table summarizes the concerns that were received along with the Developer's response. All correspondence received can be found in Appendix "?".

Stakeholder	Comments/Concerns	Developer Response to Concerns
Terry Friggstad	<p>Concern over the fill that was brought in. No need for additional commercial development due to complete slate of services located three minutes away. Concern over the change in the character of the residential nature of the area. Revert it back to residential.</p>	<p>The design, location and purpose of the pond is to intercept the quick runoff and then release it to the natural drainage channel at pre-development rate. The location of the pond is due to the natural lay of the land and the interaction of the new site with the natural drainage patterns. Storm water modelling and design was done to best determine the pre-development run-off and to match that to the post-development runoff.</p> <p>The type of commercial uses within the proposed development will be guided by the Corman Park - Saskatoon Planning District Zoning Bylaw. The developer also proposes to provide landscaping and external buffers for the development for aesthetic purposes.</p> <p>Development permits that come forward if the proposal goes ahead are subject to an additional layer of standards and regulations including landscaping standards.</p>
Terry Borisko	Wanted to know when an additional public open house	A public open house was held on May 22, 2012. A change to

	<p>would be held. Concern over not knowing the exact uses that will occur on each site. Concern about warehouse sales as a use. Concern about building sizes generating traffic. Concern over signage and light pollution. Concern over accessory buildings and the storage of vehicles as well as the display of finished goods for sale, particularly for a warehouse. Concern about the change in character of the residential nature of the area as well as property values. No definition or explanation of the proposed uses. Concern over the additional fill brought in, the site is unkempt and an eyesore. Important for community and residents that the zoning remain unchanged.</p>	<p>the original proposal was made reducing the number of lots and reducing the types of uses that would be allowed on the site. A follow-up letter was sent to property owners in close proximity to the proposed site to notify them of the changes being made to the original proposal. All of the changes made are more restrictive than what was contained in the original proposal.</p> <p>Each use listed in the Zoning Bylaw is defined in Section 6 – Definitions in the Corman Park – Saskatoon Planning District Zoning Bylaw.</p> <p>The design, location and purpose of the pond is to intercept the quick runoff and then release it to the natural drainage channel at pre-development rate. The location of the pond is due to the natural lay of the land and the interaction of the new site with the natural drainage patterns. Storm water modelling and design was done to best determine the pre-development run-off and to match that to the post-development runoff.</p> <p>The type of commercial uses within the proposed development will be guided by the Corman Park - Saskatoon Planning District Zoning Bylaw. The developer also proposes to provide landscaping and external buffers for the development for aesthetic purposes.</p>
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		<p>Development permits that come forward if the proposal goes ahead are subject to an additional layer of standards and regulations including landscaping standards.</p> <p>9,000 m³ of the required 50,000 m³ of fill has been hauled in to date. This amount of fill is needed to implement the drainage plan that meets the RM of Corman Park's standards.</p>
Kerri Dolgopol	<p>Concern over increased traffic. Concern over the increase in noise and lights. Concern over the potential uses that may locate on the site. Feels the uses listed are vague. The re-designed proposal is not acceptable. There would have to be a lot of effort, design and money to try to blend commercial into residential area. Why add water to an area with an already high water table? Concern over maintenance of pond. Will continue to petition against these proposals.</p>	<p>Each use listed in the Zoning Bylaw is defined in Section 6 – Definitions in the Corman Park – Saskatoon Planning District Zoning Bylaw.</p> <p>Additional landscaping in the form of buffers along all four sides of the property are proposed. Development permits that come forward if the proposal goes ahead are subject to an additional layer of standards and regulations including landscaping standards.</p> <p>The developer plans to use techniques and standards consistent with the current version of the International Dark Sky Association Lighting Code Handbook for outdoor lighting on the site.</p> <p>Water is not being added to an already high water table, a pond has been engineered to collect water from the site in order for it to drain at a controlled rate along the natural drainage pattern at the south and east perimeters of the property, where it would not be any</p>

		different than without the pond. The pre-development run-off matches the post-development run-off with the creation of the retention pond.
Darwin Dolgopol	<p>Concern over increased traffic. Concern over the increase in noise and lights. Concern over the potential uses that may locate on the site. Feels the uses listed are vague. The re-designed proposal is not acceptable. There would have to be a lot of effort, design and money to try to blend commercial into residential area. Why add water to an area with an already high water table? Concern over maintenance of pond. We will continue to petition against these proposals.</p>	<p>Each use listed in the Zoning Bylaw is defined in Section 6 – Definitions in the Corman Park – Saskatoon Planning District Zoning Bylaw.</p> <p>Additional landscaping in the form of buffers along all four sides of the property are proposed. Development permits that come forward if the proposal goes ahead are subject to an additional layer of standards and regulations including landscaping standards.</p> <p>Water is not being added to an already high water table, a pond has been engineered to collect water from the site in order for it to drain at a controlled rate along the natural drainage pattern at the south and east perimeters of the property, where it would not be any different than without the pond. The pre-development run-off matches the post-development run-off with the creation of the retention pond.</p>
Tim and Sue Britton	<p>Not interested in having any commercial development in the area that could potentially have a negative impact on the current owners due to increased traffic, noise, etc. Feel the properties should stay zoned as they are. We would support the zoning staying the</p>	<p>The type of commercial uses within the proposed development will be guided by the Corman Park - Saskatoon Planning District Zoning Bylaw. The developer also proposes to provide landscaping and external buffers for the development for aesthetic purposes.</p>

	<p>same or reverting back to a country residential property.</p>	<p>Development permits that come forward if the proposal goes ahead are subject to an additional layer of standards and regulations including landscaping standards.</p>
Martin Gerard	<p>Concern over noise, light, traffic and litter. Concern over record high water tables and drainage issues that might aggravate already local problems. If development goes ahead, we would hope that the pond would be located along Grasswood Road.</p>	<p>The type of commercial uses within the proposed development will be guided by the Corman Park - Saskatoon Planning District Zoning Bylaw. The developer also proposes to provide landscaping and external buffers for the development for aesthetic purposes.</p> <p>Development permits that come forward if the proposal goes ahead are subject to an additional layer of standards and regulations including landscaping standards.</p> <p>The developer plans to use techniques and standards consistent with the current version of the International Dark Sky Association Lighting Code Handbook for outdoor lighting on the site.</p> <p>The design, location and purpose of the pond is to intercept the quick runoff and then release it to the natural drainage channel at pre-development rate. The location of the pond is due to the natural lay of the land and the interaction of the new site with the natural drainage patterns. Storm water modelling and design was done to best determine the pre-development</p>

		<p>run-off and match that post-development runoff to this.</p> <p>Preliminary information was submitted to the Water Security Agency for review and they had no concerns regarding a drainage pond that complemented the existing natural drainage pattern.</p>
Angela Jamieson-Fung and Patrick Jamieson	<p>Concerns over the drainage of the property, as well as maintenance and design of the drainage pond. How will safety in regard to the pond, as well as mosquito breeding, and maintenance be addressed? Is the placement of the pond the best placement? Not against development but concerned about additional traffic, noise, rubbish, and insufficient community consultation.</p>	<p>The design, location and purpose of the pond is to intercept the quick runoff and then release it to the natural drainage channel at pre-development rate. The location of the pond is due to the natural lay of the land and the interaction of the new site with the natural drainage patterns. Storm water modelling and design was done to best determine the pre-development run-off and to match that to the post-development runoff.</p> <p>Preliminary information was submitted to the Water Security Agency for review and they had no concerns regarding a drainage pond that complemented the existing natural drainage pattern.</p> <p>The type of commercial uses within the proposed development will be guided by the Corman Park - Saskatoon Planning District Zoning Bylaw. The developer also proposes to provide landscaping and external buffers for the development for aesthetic purposes.</p> <p>Development permits that come forward if the proposal</p>

		<p>goes ahead are subject to an additional layer of standards and regulations including landscaping standards.</p> <p>A public open house was held on May 22, 2012. A change to the original proposal was made reducing the number of lots and reducing the types of uses that would be allowed on the site. A follow-up letter was sent to property owners in close proximity to the proposed site to notify them of the changes being made to the original proposal. All of the changes made are more restrictive than what was contained in the original proposal.</p> <p>Should Council decide to move forward with the proposal, community consultation will continue to be undertaken, based on the requirements of the Planning and Development Act, 2007, the policies contained within the Corman Park – Saskatoon Planning District Official Community Plan and any additional consultation required by the RM of Corman Park Council.</p>
Paulett Sapergia and Charles French	The proposed business complex is not conducive to acreage living. It is of no use to people in the area and will cause more traffic, noise and disturbances in what was to be a quiet rural community. There are ample facilities available just down the road. Land is perhaps better suited for a wildlife refuge.	<p>The type of commercial uses within the proposed development will be guided by the Corman Park - Saskatoon Planning District Zoning Bylaw. The developer also proposes to provide landscaping and external buffers for the development for aesthetic purposes.</p> <p>Development permits that come forward if the proposal</p>

		goes ahead are subject to an additional layer of standards and regulations including landscaping standards.
Cedric and Anne Gillott	<p>Opposition to the proposal. Concern over drainage issues. Proposed development will worsen the quality of life, more traffic, more noise, more litter especially for the neighbour located to the south of the site. Sincerely hope that the RM Council will deny the proposal. Drainage has been affected by additional fill already brought in.</p>	<p>The design, location and purpose of the pond is to intercept the quick runoff and then release it to the natural drainage channel at pre-development rate. The location of the pond is due to the natural lay of the land and the interaction of the new site with the natural drainage patterns. Storm water modelling and design was done to best determine the pre-development run-off and to match that to the post-development runoff.</p> <p>The type of commercial uses within the proposed development will be guided by the Corman Park - Saskatoon Planning District Zoning Bylaw. The developer also proposes to provide landscaping and external buffers for the development for aesthetic purposes.</p> <p>Development permits that come forward if the proposal goes ahead are subject to an additional layer of standards and regulations including landscaping standards.</p> <p>9,000 m³ of the required 50,000 m³ of fill has been hauled in to date. This amount of fill is needed to implement the drainage plan that meets the RM of Corman Park's standards.</p>
Donna Burlingame	Continued objection to the proposal. Concerns over	The type of commercial uses within the proposed

	<p>increased traffic at an already dangerous intersection.</p> <p>Increased pollution and noise.</p> <p>Peaceful country living will be significantly impaired. Concern over a potential decrease in property values.</p>	<p>development will be guided by the Corman Park - Saskatoon Planning District Zoning Bylaw. The developer also proposes to provide landscaping and external buffers for the development for aesthetic purposes.</p> <p>Development permits that come forward if the proposal goes ahead are subject to an additional layer of standards and regulations including landscaping standards.</p>
Wes and Charlotte Vanstone	<p>Concern over the transformation from a quiet residential area to an industrial area. Additional soil that was hauled in may have a negative impact on the drainage pattern. Additional soil and destruction of trees has created an eyesore. Concern over reduced property values.</p>	<p>The design, location and purpose of the pond is to intercept the quick runoff and then release it to the natural drainage channel at pre-development rate. The location of the pond is due to the natural lay of the land and the interaction of the new site with the natural drainage patterns. Storm water modelling and design was done to best determine the pre-development run-off and to match that to the post-development runoff.</p> <p>9,000 m³ of the required 50,000 m³ of fill has been hauled in to date. This amount of fill is needed to implement the drainage plan that meets the RM of Corman Park's standards.</p> <p>The type of commercial uses within the proposed development will be guided by the Corman Park - Saskatoon Planning District Zoning Bylaw. The developer also proposes to provide landscaping and external buffers for the</p>

		<p>development for aesthetic purposes.</p> <p>Development permits that come forward if the proposal goes ahead are subject to an additional layer of standards and regulations including landscaping standards.</p>
Keith and Matina Morton	<p>Concern over the retention pond and its location, as well as its effect on the groundwater. Concern over how the pond will maintain the existing drainage pattern to the southeast.</p> <p>Concern over the fill that was brought in addition to how it is currently graded.</p> <p>Requesting a 7 foot fence be built along the south boundary of the proposed development site as well as snow removal away from the south property line in the winter.</p> <p>Concern over the number of lots resulting in more traffic, noise, lights, scared wildlife, and reducing the quality of life for residents.</p> <p>Concern over a reduction in property value.</p>	<p>The design, location and purpose of the pond is to intercept the quick runoff and then release it to the natural drainage channel at pre-development rate. The location of the pond is due to the natural lay of the land and the interaction of the new site with the natural drainage patterns. Storm water modelling and design was done to best determine the pre-development run-off and to match that to the post-development runoff.</p> <p>Preliminary information was submitted to the Water Security Agency for review and they had no concerns regarding a drainage pond that complemented the existing natural drainage pattern.</p> <p>The type of commercial uses within the proposed development will be guided by the Corman Park - Saskatoon Planning District Zoning Bylaw. The developer also proposes to provide landscaping and external buffers for the development for aesthetic purposes.</p> <p>Development permits that come forward if the proposal goes ahead are subject to an</p>

	<p>additional layer of standards and regulations including landscaping standards.</p> <p>9,000 m³ of the required 50,000 m³ of fill has been hauled in to date. This amount of fill is needed to implement the drainage that meets the RM of Corman Park's Standards.</p> <p>The developer plans to use techniques and standards consistent with the current version of the International Dark Sky Association Lighting Code Handbook for outdoor lighting on the site.</p> <p>The developer plans to build a fence along the south side of the site.</p> <p>The developer has indicated that the sale agreements will require snow clearing along the south property line to address drainage issues.</p>	
Judith and Larry Wine	<p>Opposed to the zoning change of the 10 acres at the corner of Grasswood Road and Hwy 219 from DC2 to DC1. There is no need for commercial development at this location. Stonebridge and other parts of the City of Saskatoon nearby already have a sufficient and accessible supply of such land use. We are against what we see as an example of urban sprawl.</p>	
Gerald Van Lambalgen	<p>Opposed to any changes in zoning to the Parcel M at Grasswood and Lorne Avenue.</p>	
Ron and Joyce Thorstad	<p>Oppose the commercial development proposed for</p>	

	Parcel M at Grasswood and Lorne Avenue.	
Curt Hidinger	Oppose the commercial development proposed for the Katsiris Parcel M at the corner of Grasswood and Highway 219.	
Donna and Trent Seidel	<p>Oppose the business centre proposal due to the impact it will have on the quiet, rural setting. Quality of life will be affected due to increase in traffic, bright lights, garbage and noise.</p>	<p>The type of commercial uses within the proposed development will be guided by the Corman Park - Saskatoon Planning District Zoning Bylaw. The developer also proposes to provide landscaping and external buffers for the development for aesthetic purposes.</p> <p>Development permits that come forward if the proposal goes ahead are subject to an additional layer of standards and regulations including landscaping standards.</p> <p>The developer plans to use techniques and standards consistent with the current version of the International Dark Sky Association Lighting Code Handbook for outdoor lighting on the site.</p>
Dave Forrest and Sandy Hislop-Forrest	<p>Development is not consistent with the purpose for which this area was conceived - nor with purpose for which people seek to buy in this area. Close enough to services in the city. Proposed services will not enhance our lives. Concern over property values, noise, traffic, dust and other daily effects. Loss of peaceful rural living. Against the proposal.</p>	<p>The type of commercial uses within the proposed development will be guided by the Corman Park - Saskatoon Planning District Zoning Bylaw. The developer also proposes to provide landscaping and external buffers for the development for aesthetic purposes.</p> <p>Development permits that come forward if the proposal goes ahead are subject to an additional layer of standards</p>

		<p>and regulations including landscaping standards.</p> <p>The developer plans to use techniques and standards consistent with the current version of the International Dark Sky Association Lighting Code Handbook for outdoor lighting on the site.</p>
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Appendix K
Letter Proposing Modified DC-1 District



February 5th, 2015

R.M. of Corman Park
111 Pinehouse Drive
Saskatoon, SK S7K 5W1

To: Members of the R.M. of Corman Park Council,

Please accept this as a letter on behalf of Christmas Properties in response to recent discussions with the RM of Corman Park Administration and mediation discussions. The Developer respectfully submits a request that the following list of uses be provided for in the Grasswood Business Centre (Parcel M, Plan 62S02942):

Permitted Uses:

- Automotive, equipment and vehicle service
- Food service use
- Public market
- Public utility or municipal facilities
- Retail store
- Convenience commercial service

Discretionary Uses:

- Commercial recreation
- Telecommunications facility
- Warehouse sales

Please note that we have removed “Animal Health Care Facility” from the list of potential uses in the Business Centre because of potential conflict with neighbouring residential uses. We believe that the array of uses listed above represents a good fit for the location and with other potential development that is being proposed in the broader area.

Currently the property is zoned D – Rural Commercial 2 District (DC2). The uses provided for in the DC2 District are Convenience Commercial Service, Public Utility or Municipal Facilities and Automotive Repair Shop. The additional uses proposed are would be similar in nature (e.g. retail store vs. convenience commercial vs. public market vs. warehouse sales) to those permitted in DC2. We are suggesting that Council could use a contract zone to rezone the property to D – Arterial Commercial 1 District (DC1). Using a contract zoning agreement would allow the R.M. to limit the uses permitted within the development (e.g. the list above or a modified list acceptable to Council) and limit the minimum site size, plus other standards as

deemed necessary (e.g. dark sky light fixtures only, no outside storage unless screened). The concept plan that is attached along with a revised Comprehensive Development Review, represents the layout initially submitted to the RM, and shows the proposed development of up to six lots. Through a contract zoning agreement Council can control the number of lots permitted by setting the minimum site size for lots appropriately.

We wish to point out that property as currently designated (Commercial - in the Corman Park – Saskatoon Planning District Official Community Plan) and zoned (DC2 - in the Corman Park – Saskatoon Planning District Zoning Bylaw) is undevelopable. Under current zoning, the property could be subdivided and developed into three 1.2 ha parcels, each housing a convenience store and possible auto repair shop. Convenience stores typically occupy 0.12 – 0.20 ha and this use does not appear feasible given the presence of two convenience stores at the intersection of Highway #11 and Grasswood Road and another at the corner of Ruth Street and Lorne Avenue (in the City of Saskatoon).

The Developers look forward to working with Administration and Council. Should you require any additional information, please do not hesitate to contact me at 306-665-3441. We look forward to hearing from you.

Sincerely,

A handwritten signature in blue ink, appearing to read "JW Waters".

Jim Waters, RPP MCIP

Appendix L
Proposed Rezoning Agreement

Rezoning Agreement

This Agreement made effective this _____ day of _____, 2015.

Between:

The Rural Municipality of Corman Park No. 344 a municipal corporation in the Province of Saskatchewan, (“the Municipality”)

- and -

Christmas Properties Ltd. operating in the Rural Municipality of Corman Park No. 344, in the Province of Saskatchewan (“the Owner”)

Whereas:

- A. The Owner is the registered owner or beneficial owner of the lands described as follows:
 - (i) Parcel M, Plan 62S02942
(collectively referred to as the “Land”)
- B. The Owner has applied for approval to rezone the Land described in Section A from a DC2 – Rural Convenience Commercial 2 District to DC1 – Arterial Commercial 1 District to allow the development of the proposal specified in this Agreement.
- C. The Municipality has an approved Official Community Plan which, pursuant to Section 69 of *The Planning and Development Act, 2007*, contains guidelines respecting the entering into of agreements for the purpose of accommodating requests for the rezoning of land.
- D. The Municipality has agreed, pursuant to the provisions of Section 69 of *The Planning and Development Act, 2007*, to rezone the Land described in Section A from DC2 – Rural Convenience Commercial 2 District to DC1 – Arterial Commercial 1 District to allow the development of the proposal specified in this Agreement.

Now therefore this Agreement witnesseth that the parties hereto covenant and agree as follows:

Land to be Used in Accordance with Agreement

1. The Owner agrees that, upon the Land being rezoned from DC2 – Rural Convenience Commercial 2 District to DC1 – Arterial Commercial 1 District, none of the Land shall

be developed except in accordance with the terms and conditions set out in this Agreement.

Use of Land

2. The Owner intends to Develop a 3.73 ha Business Centre and agrees that the use of the Land shall be restricted to the following:
 - a. Permitted Uses
 - (i) Automotive Repair Shop
 - (ii) Animal Health Care Facility
 - (iii) Commercial Storage Centre
 - (iv) Food Service Use
 - (v) Public Market
 - (vi) Public Utility or Municipal Facilities
 - (vii) Retail Store
 - b. Discretionary Uses
 - (i) Commercial Recreation
 - (ii) Telecommunications Facility

Development Standards

3. The following development standards shall be applicable to the Land:
 - (i) a maximum of 6 separate commercial sites may be subdivided out of the Land.
 - (ii) Only one approach will be permitted to access the Land from Grasswood Road. No new approaches will be permitted to access the Land from Highway #219.
 - (iii) All other development standards shall be those applicable to the DC1 District.
 - (iv) Buffer Strips – A 5 metre wide Buffer Strip shall be dedicated on the perimeter of the Land at the time of subdivision, excepting that area required for the approach.
 - (v) Site Drainage – Site drainage shall be accommodated through the construction of an engineered storm water retention pond adjacent to the required buffer strip adjacent to the eastern boundary of Parcel M, Plan 62S02942. The design of the storm water retention pond must be completed by a professional engineer and be approved by the Saskatchewan Watershed Authority and the Municipality.
 - (vi) Site and Street Lighting – Outdoor site and street light fixtures shall be compatible with the standards of the International Dark Sky Association.

Application of Zoning Bylaw

4. The Owner covenants and agrees that, except to the extent otherwise specified in this Agreement, the provisions of the Corman Park – Saskatoon Planning District Zoning Bylaw as amended from time to time shall apply.

Compliance with Agreement

5. The Owner covenants and agrees not to develop or use the Land unless such development, use and construction complies with the provisions of this Agreement.

Disposition Subject to Agreement

6. The Owner covenants and agrees that any sale, lease or other disposition or encumbrance of the Land or part thereof shall be made subject to the provisions of this Agreement.

Definitions

7. Any word or phrase used in this Agreement which is defined in the Corman Park – Saskatoon Planning District Zoning Bylaw shall have the meaning ascribed to it in the Bylaw.

Departures and Waivers

8. No departure or waiver of the terms of this Agreement shall be deemed to authorize any prior or subsequent departure or waiver, and the Municipality shall not be obliged to continue any departure or waiver or permit subsequent departures or waivers.

Severability

9. If any covenant or provision of this Agreement is deemed to be void or unenforceable in whole or in part, it shall not be deemed to affect or impair the validity of any other covenant or provision of this Agreement.

Governing Law

10. This agreement shall be governed and interpreted in accordance with the laws of the Province of Saskatchewan.

Effective Date of Rezoning

11. It is understood by the Owner that the Land shall not be effectively rezoned from DC2 – Rural Convenience Commercial 2 District to DC1 – Arterial Commercial 1 District until:
 - (a) the Council of the Rural Municipality of Corman Park No. 344 has passed a Bylaw to that effect; and

(b) this Agreement is registered by the Municipality, by way of an Interest Registration, against the Land.

Use Contrary to Agreement

12. (1) The Council of the Rural Municipality of Corman Park No. 344 may declare this Agreement void where any of the Land or buildings thereon is developed or used in a manner which is contrary to the provisions of this Agreement, and upon the Agreement being declared void, the Land shall revert to a DC2 – Rural Convenience Commercial 2 District.
- (2) If this Agreement is declared void by the Council of the Rural Municipality of Corman Park No. 344, the Municipality shall not, by reason thereof, be liable to the Owner or to any other person for any compensation, reimbursement or damages on account of loss or profit, or any account of expenditures, or any other account whatsoever in connection with the Land.

Registration of Interest

13. (1) The Parties hereto acknowledge that this Agreement is made pursuant to Section 69 of *The Planning and Development Act, 2007* and the Owner agrees that this Agreement shall be registered by way of an Interest Registration against the Title to the Land. As provided in Section 236 of *The Planning and Development Act, 2007*, Section 63 of *The Land Titles Act, 2000* does not apply to the Interest registered in this Agreement.
- (2) This Agreement shall run with the Land pursuant to Section 69 of *The Planning and Development Act, 2007*, and shall bind the Owner, its successors and assigns.

Enurement

14. This agreement shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

The Rural Municipality of Corman Park No. 344

Reeve

Administrator

Christmas Properties Ltd.
